



DRAWING SCHEDULE

A1-0	COVER SHEET/ GENERAL NTS
A2-1	(E) BASEMENT FL PLAN
A2-2	(E) MAIN FL PLAN
A2-3	(E) SECOND/DEMO. SEC. FL PLAN
A2-4	(N) PROPOSED SEC FLOOR PLAN
A2-5	NEW/EXISTING ROOF PLAN
A3-1	FRAMING PLANS - SEE STRUCTURAL
A4-1	(E) ELEVATIONS
A4-2	(E) ELEVATIONS
A4-3	(N) ELEVATIONS
A4-4	(N) ELEVATIONS
A5-1	(N) SECTIONS
A6-1	DETAILS
A7-1	GENERAL NOTES
A8-1	ENERGY SHEETS

TAX PARCEL NO.

335850-0265

ZONING CODE

CLASSIFICATION: I101-SINGLE FAMILY DWELLING
 LOT AREA: 23,225 SF

LEGAL DESCRIPTION

HILLMANS C D SEA SHORE LAKE FRONT TR 463 THRU 466 TGW FOR OF TR 583 LY SLY OF LN DAF - BEG AT NE COR SD TR 583 TH S 23-28-13 W 200 FT TH N 75-53-10 W TO BDRY BTWN 583 & 584 AS PER SCC # 80-2-00670-3 REC # 8107100752 SURV 8107109001 TGW SH LDS & UNPLTD STRIP ADJ AKA LOT B MI LLA 85-01-01 APPR 5-18-87

BUILDING CODE

ALL WORK TO CONFORM TO:
 2018 INTERNATIONAL BLDG. CODE (IBC)
 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2018 WASHINGTON STATE ENERGY CODE, RESIDENTIAL PROVISIONS (WSEC)
 2018 UNIFORM PLUMBING CODE (UPM0)
 AS AMENDED BY UNINCORPORATED PIERCE COUNTY AND AUTHORITIES OF JURISDICTION.
 MECHANICAL & ELECTRICAL PERMITS TO BE ACQUIRED BY OTHERS
 PLUMBING PERMITS TO BE ACQUIRED BY OTHERS

PROJECT DESCRIPTION

REMODEL/ADDITION OF EXISTING MASTER BEDROOM/CLOSET & BATHROOM. ADDED MASTER CLOSET TOTAL 176 LIVING SPACE. TOTAL REMODEL 660SF

ALTERATIONS TO AN EXISTING BUILDING SYSTEM SHALL CONFORM TO THE PROVISIONS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE, RESIDENTIAL PROVISIONS, AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION W/O REQUIRING THE UNALTERED PORTION OF THE EXISTING BUILDING SYSTEM TO COMPLY WITH THIS CODE. SEE R502.1

ADDITION FOOTAGE CALCULATION:

PRO. REMODEL SEC FL	176 SQ.FT.
ADDITION SEC FL	660 SQ.FT.
(E) MAIN FL	1,150 SQ.FT.
(E) SEC. FL	1,530 SQ.FT.
(E) BASEMENT	800 SQ.FT.
TOTAL SQ.FT.:	4,316 SQ.FT.
(E) GARAGE	610 SQ.FT.
(E) WOOD DECK	1,180 SQ.FT.
(N) WOOD DECK	642 SQ.FT.

ENERGY CODE

CODE: WASHINGTON STATE ENERGY CODE, 2015 EDITION, PRESCRIPTIVE METHOD, TABLE R 402.1.1 OR BETTER WITH MINIMUM BELOW:

INSULATION:

ROOF: FLAT CEILING	R-49
ROOF: FLAT CEILING - A. FRAMING	R-38
WALLS:	R-21
WALLS (BELOW GRADE):	R-10/15/21 INT+TB
SLAB (FULL)	R-10
FLOORS:	R-38 E.C.= .5
WATER SUPPLY:	R-3.5
FENESTRATION:	
FENESTRATION U-FACTOR: U-.28 E.C.= .5	
SKYLIGHT U-FACTOR: U-.50	

ENERGY EFFICIENCY REQ.

OPTION: 1.3	CREDIT VALUE: 0.5	TOTAL CREDITS: 3.0
OPTION: 2.1	CREDIT VALUE: 0.5	
OPTION: 3.1	CREDIT VALUE: 1.0	
OPTION: 5.3	CREDIT VALUE: 1.0	
*See sheet A8-1 for complete description		

OWNERS:

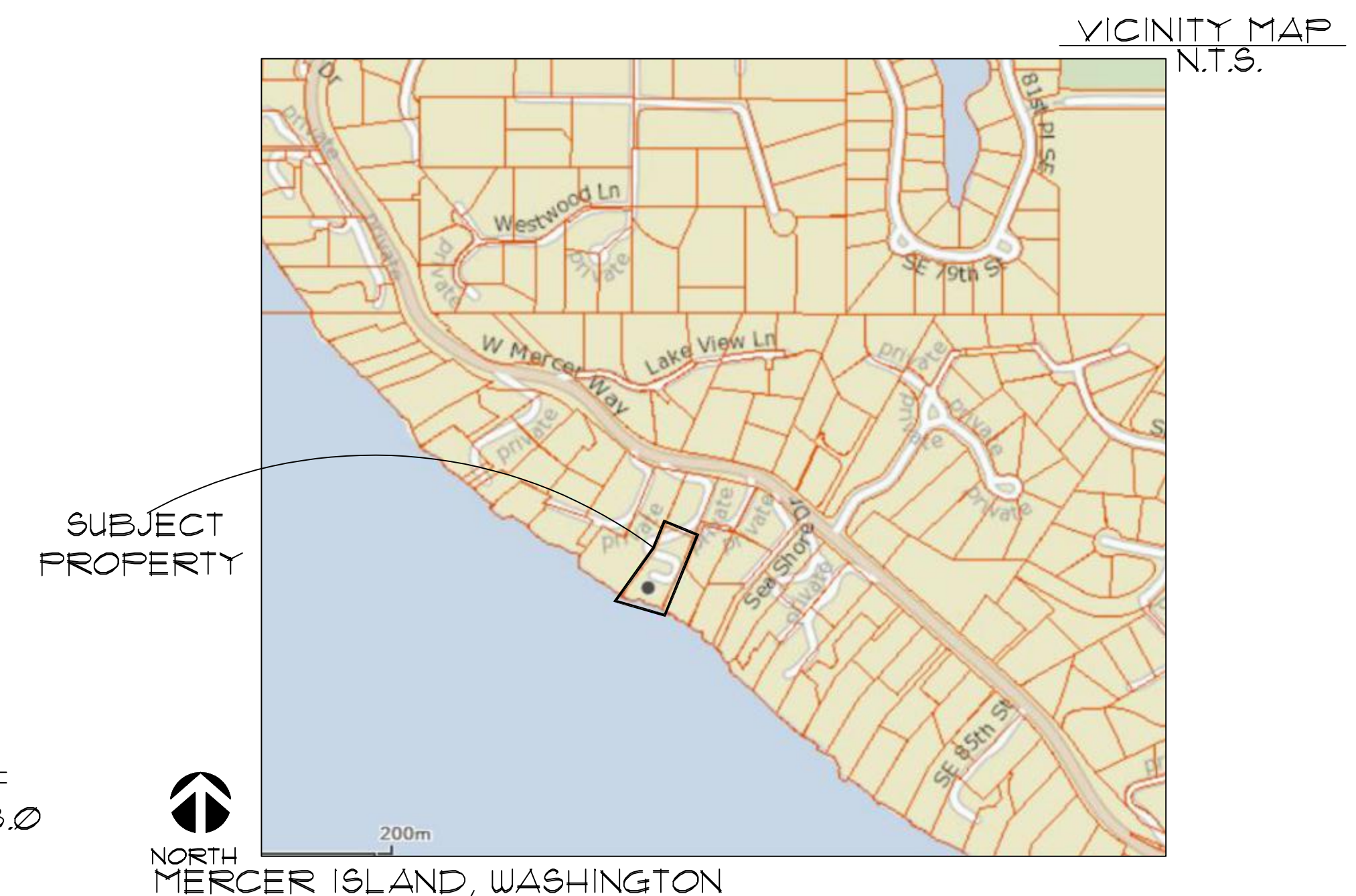
Malcolm and Debra Buxton
 CONTACT: (949)-637-5088
 ADDRESS: 8097 Mercer Way
 Mercer Island, WA. 98040
 EMAIL: debra@worldandwillow.com

DESIGNER/DRAFTER:

PACIFIC NORTHWEST DESIGN AND BUILD
 CONTACT: (253) 466-3816
 ADDRESS: 15526 84TH AVE
 PUYALLUP WA. 98375

CONTRACTOR:

Owner Contractor: WORLD AND WILLOW
 CONTACT: (949)-637-5088
 ADDRESS: 8097 Mercer Way
 Mercer Island, WA. 98040



NORTH
 MERCER ISLAND, WASHINGTON

REVISIONS:
DATE:

CONTACT:
 PACIFIC NORTHWEST
 DESIGN AND BUILD
 ADDRESS:
 15209 84th Ave CT E
 Puyallup, Wa. 98375
 (253) 466-3816

PNDB



HOME • DESIGN

PROJECT NAME: BUXTON ADDITION
 SITE ADDRESS/ OWNER:
 8097 Mercer Way
 Mercer Island, WA. 98040

CONTENT:
 COVER SHEET/
 GENERAL
 INFORMATION

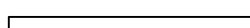
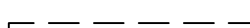

DRAWN BY:	BP
DATE:	09/26/2022
SCALE:	1/4"=1'-0"
PROJECT #:	A-0184
SHEET NO.:	

A1-0

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL TRADES REQUIRED TO PERFORM DEMOLITION WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
2. WHERE PARTITIONS ARE TO BE REMOVED, ALL ELECTRICAL OUTLETS SWITCHES SHALL BE DISCONNECTED AT SUPPLY JUNCTION BOX.
3. WHERE GLUE-DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOORING IS BEING REMOVED, REMOVE ALL ADHESIVES TO LEAVE FLOOR WITH SMOOTH, LEVEL SURFACE.
4. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC., AS REQUIRED DURING DEMOLITION.
5. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. DAMAGE TO EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
6. THE SUB-CONTRACTORS SHALL REMOVE ALL WASTE MATERIALS AND CLEAN AREA ON A DAILY BASIS, AND THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE.
7. THE CONTRACTOR SHALL CAREFULLY STOCKPILE ANY DOORS, FIXTURES, ETC., THAT THE OWNER MAY DEEM FIT FOR FUTURE USE.
8. OWNER SHALL RESERVE THE RIGHT TO KEEP ALL SALVAGEABLE MATERIALS SUCH AS CABINETS, DOORS, & HARDWARE, PLUMBING, FIXTURES, LIGHT FIXTURES, ETC.

WALL LEGEND

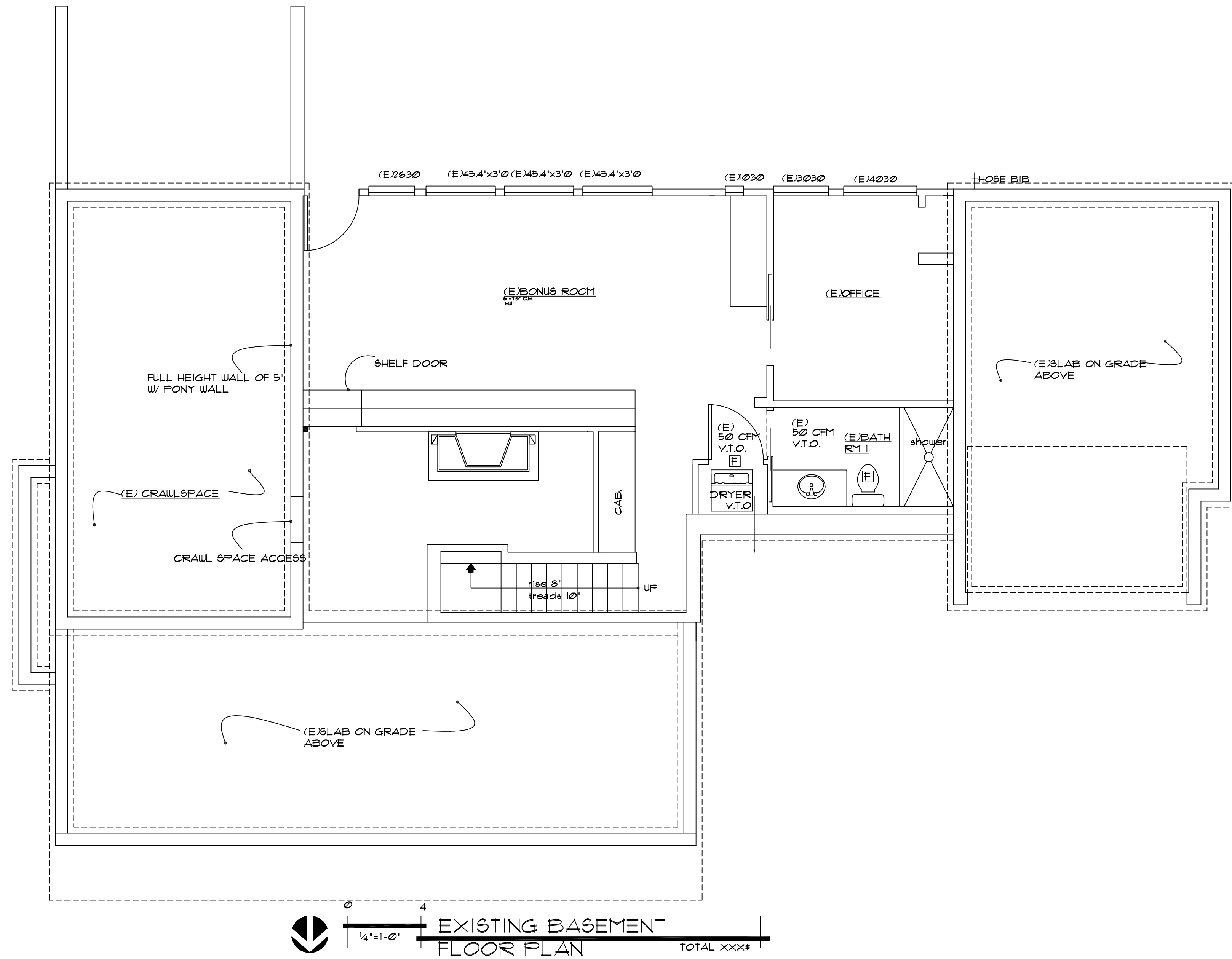
- EXISTING WALL 
- DEMO. WALL 
- DEMO. NOTE 

DEMOLITION SCHEDULE

NO.	REMARKS
1	NO DEMOLITION HAPPENING IN BASEMENT
2	

NOTES:

R 3011 APPLICATION. BUILDINGS AND STRUCTURES, AND PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, WIND LOADS AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE. THE CONSTRUCTION OF BUILDINGS AND STRUCTURES IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE SHALL RESULT IN A SYSTEM THAT PROVIDES A COMPLETE LOAD PATH THAT MEETS ALL REQUIREMENTS FOR THE TRANSFER OF ALL LOADS FROM THEIR POINT OF ORIGIN THROUGH THE LOAD-RESISTING ELEMENTS TO THE FOUNDATION.



0 4
1/4"=1'-0"

EXISTING BASEMENT FLOOR PLAN

TOTAL XXX#

REVISIONS:

NO.	DATE	DESCRIPTION

COPYRIGHT 2011 PACIFIC NORTHWEST DESIGN & BUILD
 CONTACT: PACIFIC NORTHWEST DESIGN AND BUILD
 ADDRESS: 15209 84th Ave CT E
 Puyallup, WA, 98375
 (253)466-3816



PROJECT NAME: BUXTON ADDITION
 SITE ADDRESS/OWNER: 8051 Mercer Way
 Mercer Island, WA, 98040

CONTENT:
 EXISTING BASEMENT FLOOR PLAN

DRAWN BY:	BP
DATE:	09/26/2022
SCALE:	1/4"=1'-0"
PROJECT #:	A-0194

SHEET NO:
 A2-1

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.

GENERAL DEMOLITION NOTES

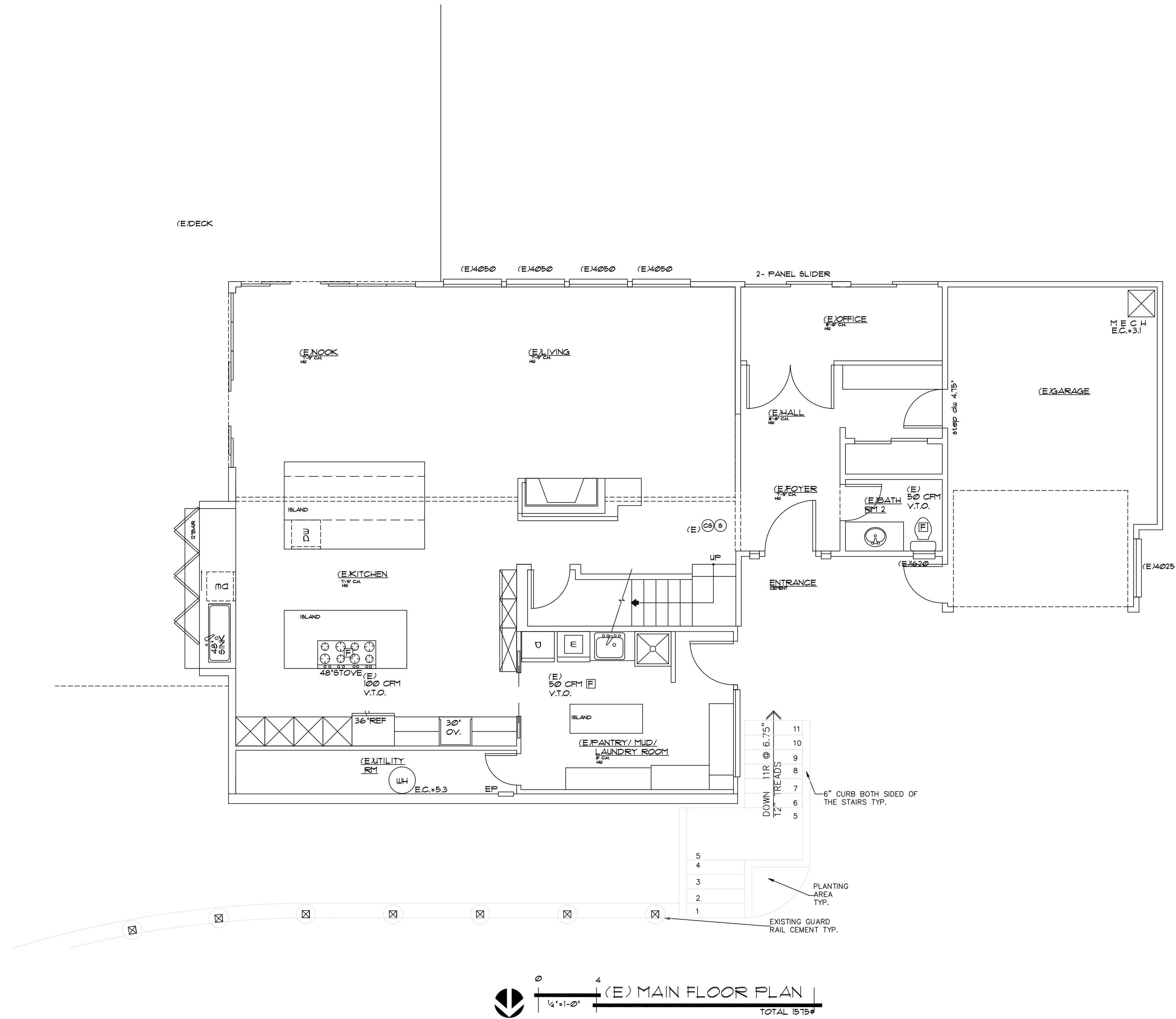
1. THE CONTRACTOR SHALL COORDINATE ALL TRADES REQUIRED TO PERFORM DEMOLITION WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
2. WHERE PARTITIONS ARE TO BE REMOVED, ALL ELECTRICAL OUTLETS SWITCHES SHALL BE DISCONNECTED AT SUPPLY JUNCTION BOX.
3. WHERE GLUE-DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOORING IS BEING REMOVED, REMOVE ALL ADHESIVES TO LEAVE FLOOR WITH SMOOTH, LEVEL SURFACE.
4. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC., AS REQUIRED DURING DEMOLITION.
5. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. DAMAGE TO EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
6. THE SUB-CONTRACTORS SHALL REMOVE ALL WASTE MATERIALS AND CLEAN AREA ON A DAILY BASIS, AND THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE.
7. THE CONTRACTOR SHALL CAREFULLY STOCKPILE ANY DOORS, FIXTURES, ETC., THAT THE OWNER MAY DEEM FIT FOR FUTURE USE.
8. OWNER SHALL RESERVE THE RIGHT TO KEEP ALL SALVAGEABLE MATERIALS SUCH AS CABINETRY, DOORS, & HARDWARE, PLUMBING, FIXTURES, LIGHT FIXTURES, ETC.

WALL LEGEND

- EXISTING WALL
- DEMO. WALL
- DEMO. NOTE

DEMOLITION SCHEDULE

NO.	REMARKS
1	NO DEMOLITION HAPPENING IN MAIN FLOOR
2	



REVISIONS:

DATE:	

CONTACT: PACIFIC NORTHWEST DESIGN AND BUILD

ADDRESS: 15209 84th Ave CT E
 Puyallup WA 98375
 (253) 466-3816



PROJECT NAME: BUXTON ADDITION

SITE ADDRESS/ OWNER: 8091 Mercer Way
 Mercer Island, WA 98040

CONTENT: EXISTING MAIN FLOOR PLAN

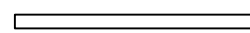
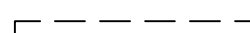

DRAWN BY:	BP
DATE:	09/26/2022
SCALE:	1/4"=1'-0"
PROJECT #:	A-0184
SHEET NO.:	A2-2

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.

GENERAL DEMOLITION NOTES

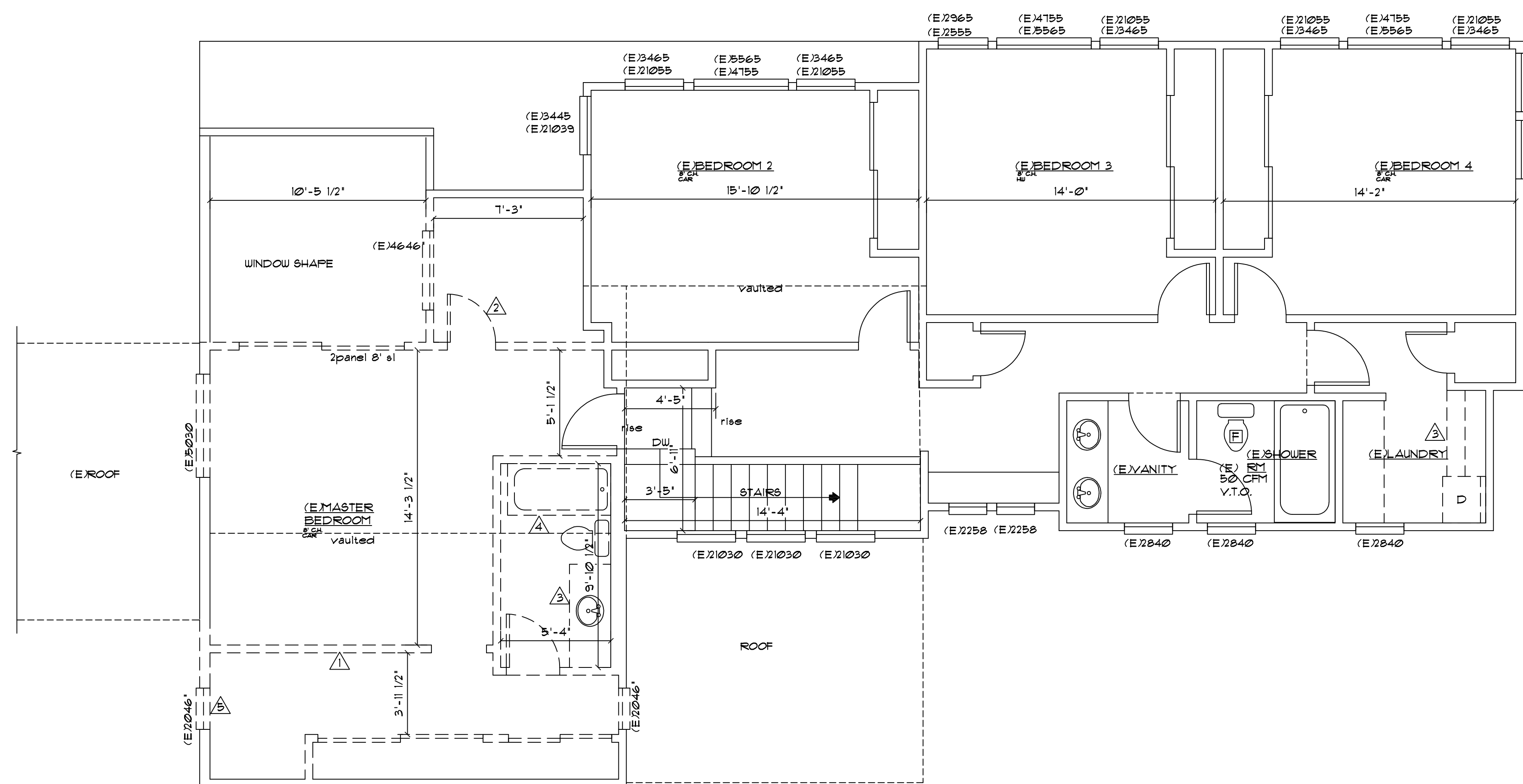
1. THE CONTRACTOR SHALL COORDINATE ALL TRADES REQUIRED TO PERFORM DEMOLITION WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
2. WHERE PARTITIONS ARE TO BE REMOVED, ALL ELECTRICAL OUTLETS SWITCHES SHALL BE DISCONNECTED AT SUPPLY JUNCTION BOX.
3. WHERE GLUE-DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOORING IS BEING REMOVED, REMOVE ALL ADHESIVES TO LEAVE FLOOR WITH SMOOTH, LEVEL SURFACE.
4. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC., AS REQUIRED DURING DEMOLITION.
5. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. DAMAGE TO EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
6. THE SUB-CONTRACTORS SHALL REMOVE ALL WASTE MATERIALS AND CLEAN AREA ON A DAILY BASIS, AND THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE.
7. THE CONTRACTOR SHALL CAREFULLY STOCKPILE ANY DOORS, FIXTURES, ETC., THAT THE OWNER MAY DEEM FIT FOR FUTURE USE.
8. OWNER SHALL RESERVE THE RIGHT TO KEEP ALL SALVAGEABLE MATERIALS SUCH AS CABINETRY, DOORS, & HARDWARE, PLUMBING, FIXTURES, LIGHT FIXTURES, ETC.

WALL LEGEND

- EXISTING WALL 
- DEMO. WALL 
- DEMO. NOTE 

DEMOLITION SCHEDULE

NO.	REMARKS
1	REMOVAL OF WALL, FILL IN AND REPAIR, WHERE NEEDED
2	REMOVAL OF DOOR, FILL IN AND REPAIR WHERE NEEDED
3	REMOVAL OF CABINETS & APP., FILL IN AND REPAIR
4	REMOVAL OF PLUMBING FIXTURES, FILL IN AND REPAIR
5	REMOVAL OF WINDOWS, FILL IN AND REPAIR



EXISTING SECOND FLOOR PLAN

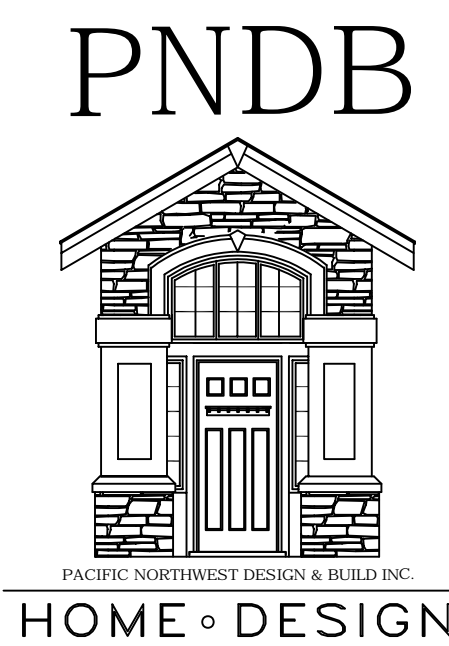
REVISIONS:

DATE:	DESCRIPTION:

COPYRIGHT 2011 PACIFIC NORTHWEST DESIGN & BUILD

CONTACT:
PACIFIC NORTHWEST DESIGN AND BUILD

ADDRESS:
15205 84th Ave CT E
Ruyalup, wa. 98375
(253)466-3816



PROJECT NAME: BUXTON ADDITION

SITE ADDRESS/OWNER:
8091 Mercer Way
Mercer Island, WA, 98040

CONTENT:

EXISTING SECOND FLOOR/ DEMO PLAN



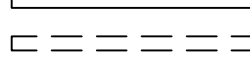
DRAWN BY:	BP
DATE:	09/16/2011
SCALE:	1/4"=1'-0"
PROJECT #:	A-0194
SHEET NO.:	A2-3

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.

NOTES:

- FIELD VERIFY, CONTRACTOR TO BE RESPONSIBLE, BEFORE MOVING INTERIOR WALLS.

WALL LEGEND

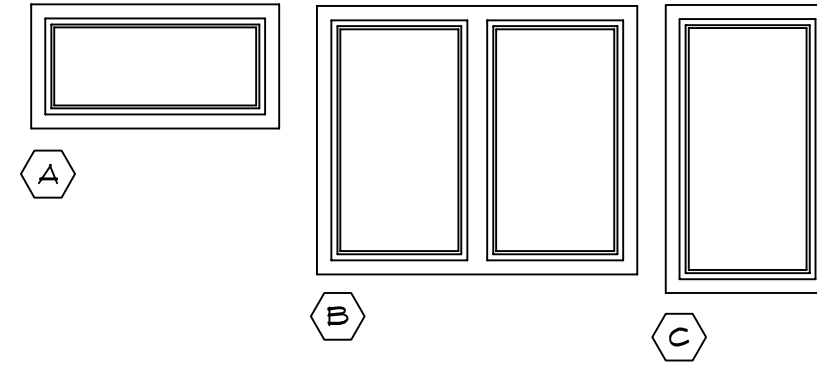
NEW WALL 
 EXISTING WALL 
 DEMO. WALL 

WINDOW SCHEDULE

MK	SIZE (W x H INCHES)	OP	MFR	QTY	REMARK
A	55 x 24 (4720)	A		4	
B	72 x 60 (6050)	SL		1	
C	34 x 65 (21055)	C		2	SAFETY GLASS

A AWNING
 C CASEMENT
 F FIXED
 SL SLIDER
 SH SINGLE HUNG
 DH DOUBLE HUNG
 TT TILT/TURN

- NOTE:
- ALL WINDOW AND DOOR HEADERS TO BE INSULATED W/ A MINIMUM R-10
 - PROVIDE SAFETY GLAZING AT ALL UNITS IN ACCORDANCE WITH IRC R308 WHETHER INDICATED OR NOT SCREENS & ALL OPERABLE SECTIONS.
 - ALL BASEMENT EGRESS WINDOWS TO HAVE A MAX. SILL HEIGHT OF 44-INCHES.
 - EGRESS PER IRC SEC 310.

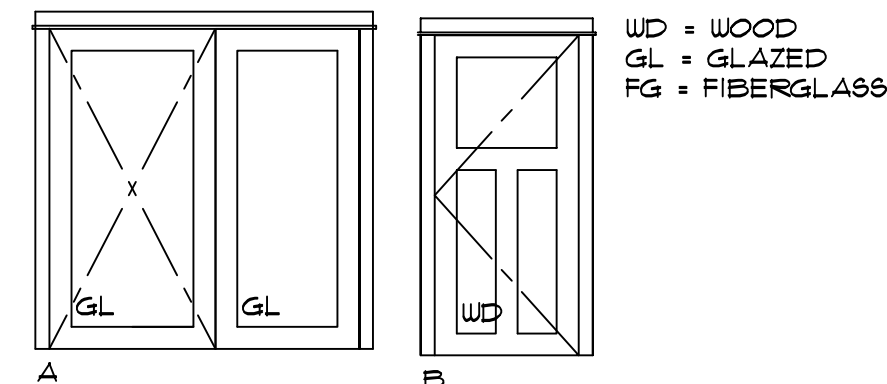


DOOR SCHEDULE

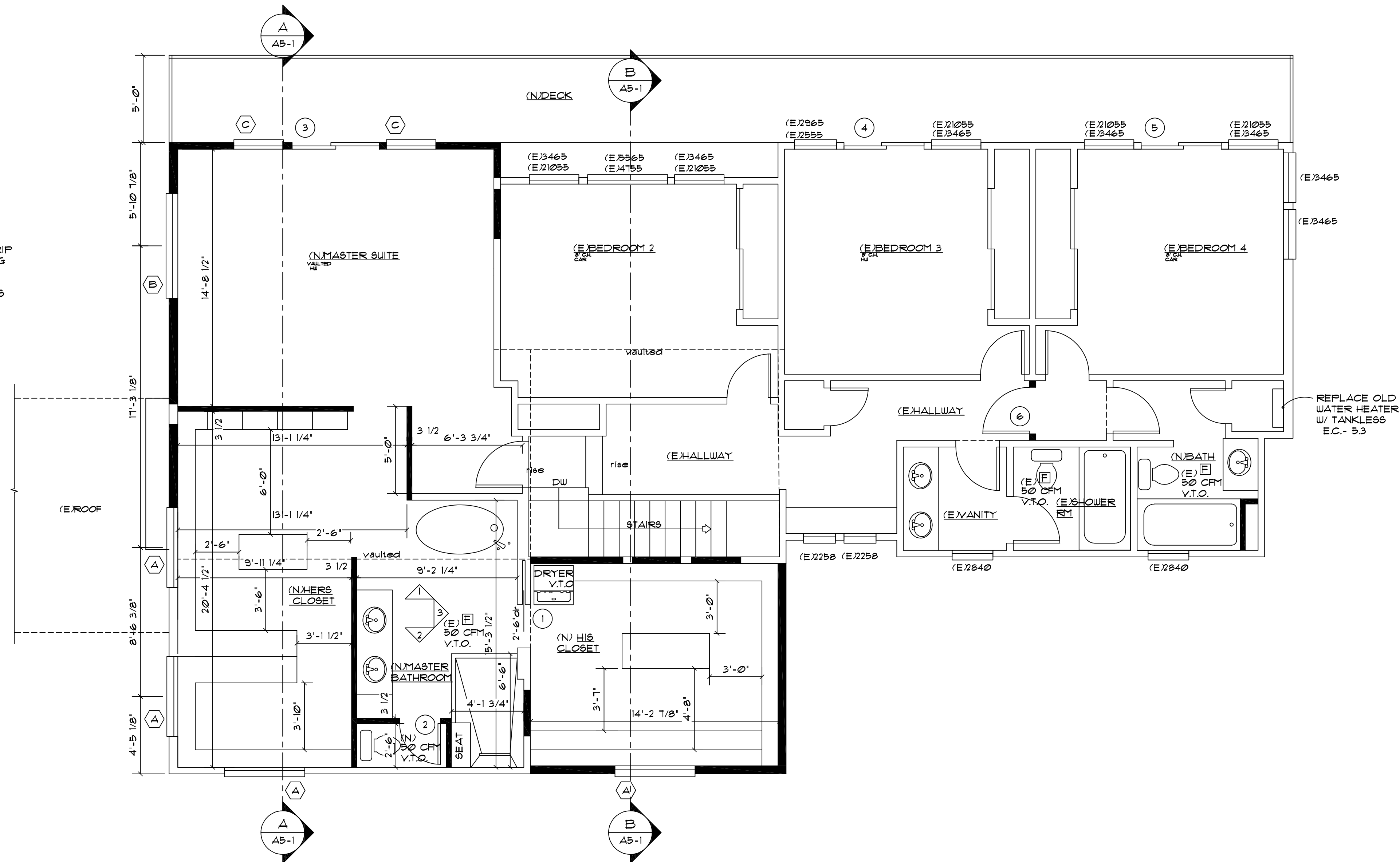
MK	SIZE (W X H X TH)	TYPE	HDWR	FIN	REMARK
1	2'-6" x 6'-8" x 1 3/8"	B	1	PT	POCKET DOOR
2	2'-4" x 6'-8" x 1 3/8"	B	1	PT	
3	5'-0" x 6'-8" x 1 3/4"	A	1	MFR	WS, SLIDER, SG
4	4'-8" x 6'-8" x 1 3/4"	A	1	MFR	WS, SG, SLIDER REPLACE EX. WINDOW
5	4'-8" x 6'-8" x 1 3/4"	A	1	MFR	WS, SG, SLIDER REPLACE EX. WINDOW

WS = WEATHER STRIP
 SC = SELF CLOSING
 DB = DEAD BOLT
 SD = SOLID CORE
 SG = SAFETY GLASS

- NOTE:
- ALL WINDOW AND DOOR HEADERS TO BE INSULATED W/ A MINIMUM R-10
 - (X) INDICATES SPECIFIED DOOR, REFER TO DOOR SCHEDULE ON THIS SHEET.



WD = WOOD
 GL = GLAZED
 FG = FIBERGLASS



REVISIONS:

DATE:	

COPYRIGHT 2011 PACIFIC NORTHWEST DESIGN & BUILD
 CONTACT: PACIFIC NORTHWEST DESIGN AND BUILD
 ADDRESS: 15205 84th Ave CT E
 Puyallup, Wa. 98375
 (253) 466-3816



PROJECT NAME: BUXTON ADDITION
 SITE ADDRESS/OWNER: 8091 Mercer Way
 Mercer Island, WA, 98040

CONTENT:

PROPOSED SECOND FLOOR PLAN

DRAWN BY:	BP
DATE:	09/16/2011
SCALE:	1/4"=1'-0"
PROJECT #:	A-0194
SHEET NO.:	A2 = 4

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.

GENERAL FRAMING NOTES:

PROVIDE SOLID BLOCKING AT BEARING & MIDSPAN (8'-0" MAXIMUM SPACING) AT ALL FLOOR JOISTS AND ROOF RAFTERS.

ALL WOOD IN CONTACT WITH CONCRETE OR SOILS SHALL BE PRESSURE TREATED. BEAMS ENTERING CONCRETE SHALL HAVE MIN. AIR SPACE ON TOPS, SIDES AND ENDS. PLACE ON 30# BUILDING PAPER OR APPROVED G&T-BASE.

R317.3 FASTENERS AND CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL.

WALL LESS THAN 5' TO A PROPERTY LINE MUST BE 1-HOUR PROJECTIONS GREATER THAN 2' FEET TO LESS THAN 5' FROM PROPERTY LINE MUST HAVE 1-HOUR FIRE-PREDICTIVE CONSTRUCTION ON THE UNDERSIDE OF FIRE BLOCKED FROM WALL PLATE TO UNDERSIDE OF ROOF SHEATHING WITH NO VENT OPENINGS.

ROOF VENTILATION:
IRC R806.2
THE NOT LESS THAN 1/300 PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO VENTILATED AT LEAST 3' ABOVE EAVE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE VENTS.

R 301.1 APPLICATION
BUILDINGS AND STRUCTURES, AND PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, WIND LOADS AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE. THE CONSTRUCTION OF BUILDINGS AND STRUCTURES IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE SHALL RESULT IN A SYSTEM THAT PROVIDES A COMPLETE LOAD PATH THAT MEETS ALL REQUIREMENTS FOR THE TRANSFER OF ALL LOADS FROM THEIR POINT OF ORIGIN THROUGH THE LOAD-RESISTING ELEMENTS TO THE FOUNDATION.

LEGEND

- (A) (E) WEST ROOF
- (B) MIDDLE ROOF
- (C) (E) EAST ROOF

ROOF CALCULATIONS

TOTAL ROOF ATTIC
1821 SQ. FT. ATTIC AREA/ 300 = 6.07 SQ. FT. OF VENTILATION REQUIRED (8116Q INCHES)

EXISTING MAIN ROOF VENTING:
PROVIDED BY CONTINUOUS VENTING INCLUDING BIRD BLOCKING

WEST ROOF VENTING:
668 SQ. FT. ATTIC AREA/ 300 = 2.22 SQ. FT. OF VENTILATION REQUIRED (320 SQ INCHES)

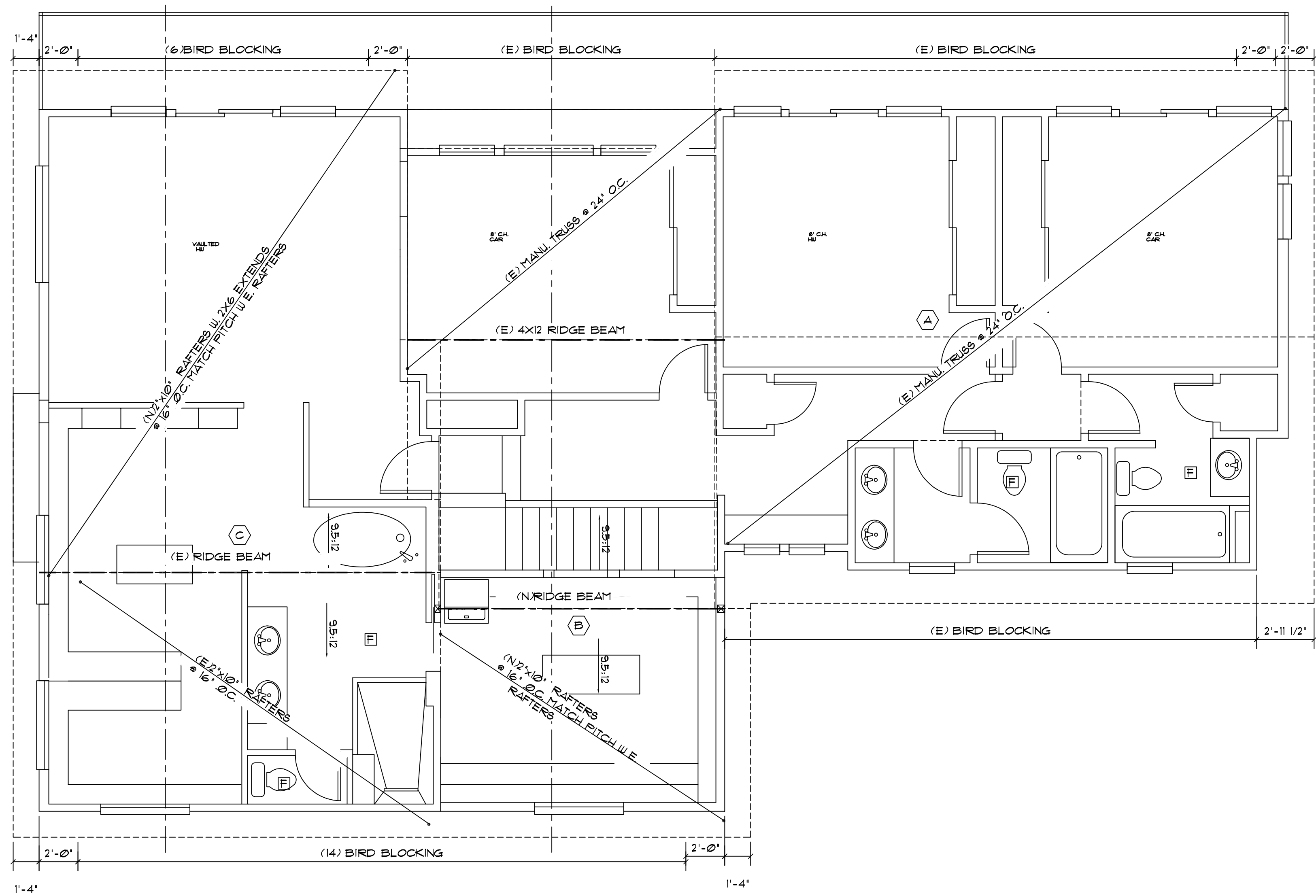
PROVIDED BY CONTINUOUS SOFFIT VENTS INSTALL PER MANU. SPEC.

MIDDLE ROOF VENTING:
430 SQ. FT. ATTIC AREA/ 300 = 1.43 SQ. FT. OF VENTILATION REQUIRED (230 SQ INCHES)

PROVIDED BY CONTINUOUS SOFFIT VENTS INSTALL PER MANU. SPEC.

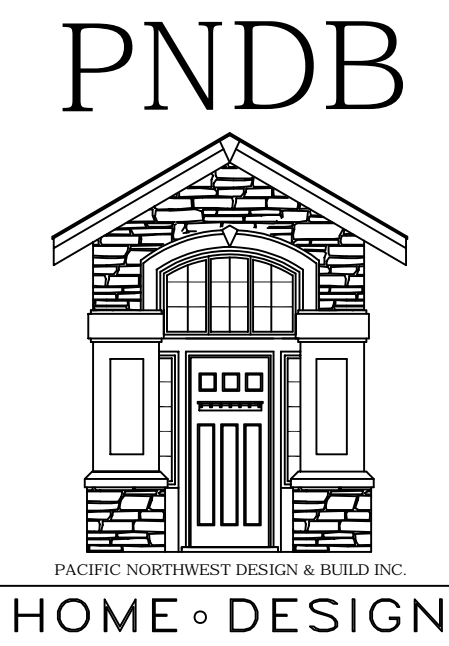
EAST ROOF VENTING:
636 SQ. FT. ATTIC AREA/ 300 = 2.12 SQ. FT. OF VENTILATION REQUIRED (305 SQ INCHES)

PROVIDED BY CONTINUOUS SOFFIT VENTS INSTALL PER MANU. SPEC.



REVISIONS:	
DATE:	

COPYRIGHT 2011 PACIFIC NORTHWEST DESIGN & BUILD
 CONTACT:
 PACIFIC NORTHWEST DESIGN AND BUILD
 ADDRESS:
 15209 84th Ave CT E
 Puyallup, WA 98375
 (253) 466-3816



PROJECT NAME: BUXTON ADDITION
 SITE ADDRESS/ OWNER:
 8091 Mercer Way
 Mercer Island, WA, 98040

CONTENT:	
EXISTING/NEW ROOF PLAN	
DRAIN BY:	BP
DATE:	09/26/2022
SCALE:	1/4"=1'-0"
PROJECT #:	A-0194
SHEET NO: A2-5	

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.



(E) SOUTH ELEVATION 4
1/4"=1'-0"



(E) EAST ELEVATION 4
1/4"=1'-0"

NOTE:
 MAIN ENTRANCE DOOR TO HAVE A DOOR VIEWER WINDOW OR SIDELIGHT.
 SIDELIGHTS OR WINDOWS WITHIN 36" OF A LOCKING DOOR MUST BE SAFETY GLASS OR WIRED GLASS
 ALL EXTERIOR OR ENTRANCE DOORS REQUIRE:
 SOLID BLOCKING AT LOCK HEIGHT ON BOTH SIDES OF DOOR FOR TWO STUD SPACES (EXCEPT WHERE SIDELIGHTS OCCUR)
 DEAD BOLT LOCKS WITH 1" THROW HINGES WITH 3" SCREWS INTO SOLID BLOCKING STRIKER PLATES TO BE FASTED WITH 3" SCREWS INTO SOLID BLOCKING.
 ALL JOINTS IN VAPOUR BARRIER TO BE LAPPED 4" AND OCCUR OVER FRAMING MEMBERS OR SEALED WITH CAULKING
 ALL HOLES THROUGH VAPOUR BARRIER FOR WIRES ELECTRICAL BOXES, PIPING, DUCTS, ETC. SHALL BE SEALED
 SILL PLATES TO BE PRESSURED TREATED OR SEPARATED BY DAMPROOFING MATERIAL
 MOISTURE RESISTANT BACKING IS REQUIRED AROUND BATHTUBS OR SHOWER WHERE CERAMICS AND PLASTIC TILE IS INSTALLED
 GUTTERS AND DOWNSPOUTS ARE REQUIRED ALL ROOF AND YARD DRAINS SHALL BE DIRECTED TO SPLASH BLOCKS AT A MINIMUM, OR TO AN INFILTRATION SYSTEM IF REQUIRED.
 ALL SURFACE DRAINAGE SHALL HAVE A MINIMUM 2% GRADE AWAY FROM THE FOUNDATION.

REVISIONS:	
DATE:	

COPYRIGHT 2011 PACIFIC NORTHWEST DESIGN & BUILD
 CONTACT:
PACIFIC NORTHWEST DESIGN AND BUILD
 ADDRESS:
 15209 84th Ave C T E
 Puyallup, wa, 98375
 (253)466-3816



PROJECT NAME:
BUXTON ADDITION
 SITE ADDRESS/OWNER:
 8097 Mercer Way
 Mercer Island, WA, 98040

CONTENT:
 (E) ELEVATIONS

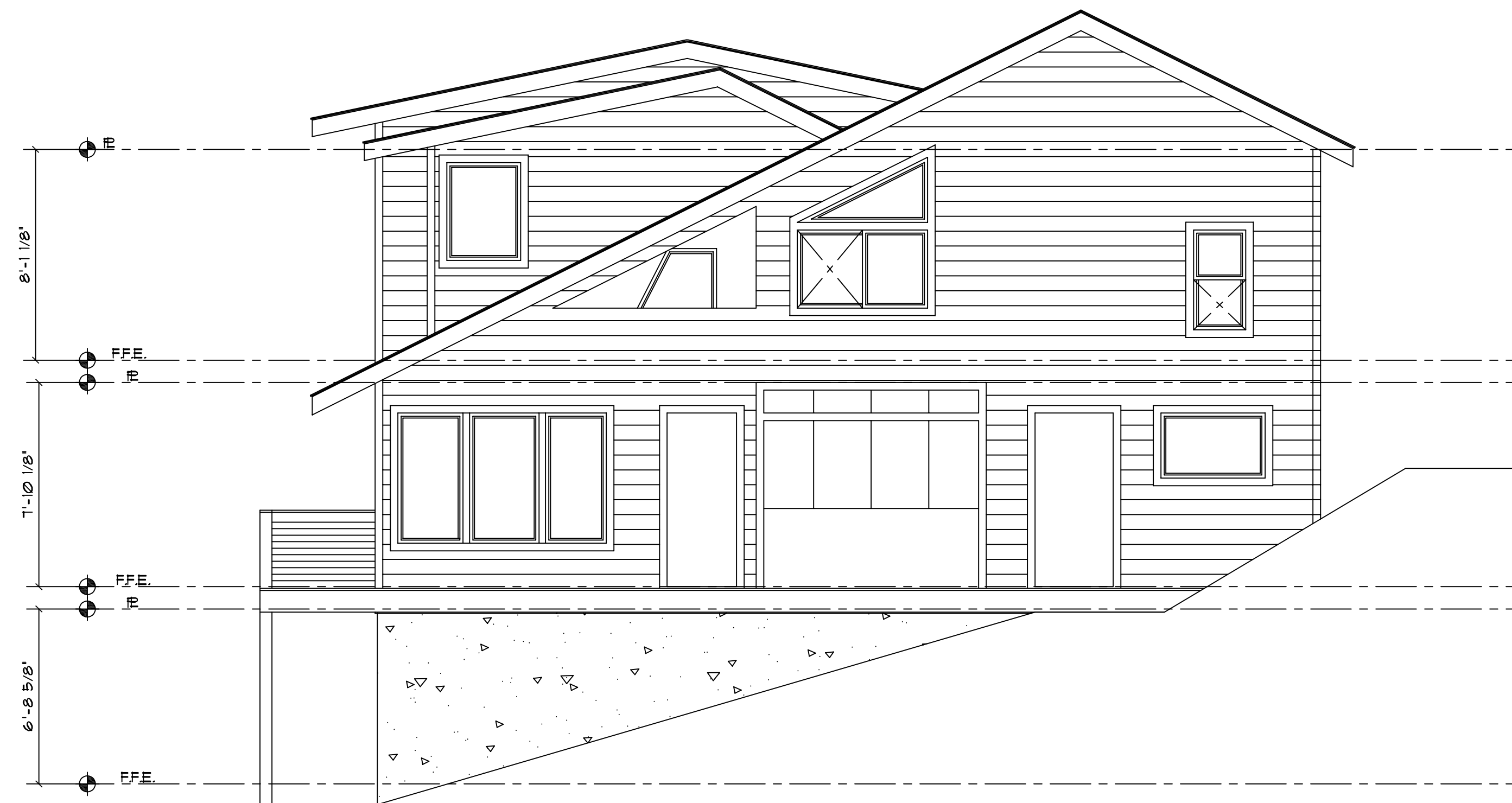
DRAWN BY:	BP
DATE:	02/26/2011
SCALE:	1/4"=1'-0"
PROJECT #:	A-0134
SHEET NO.:	

A4 = 1

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.



(E) NORTH ELEVATION $\frac{1}{4}'' = 1'-0''$

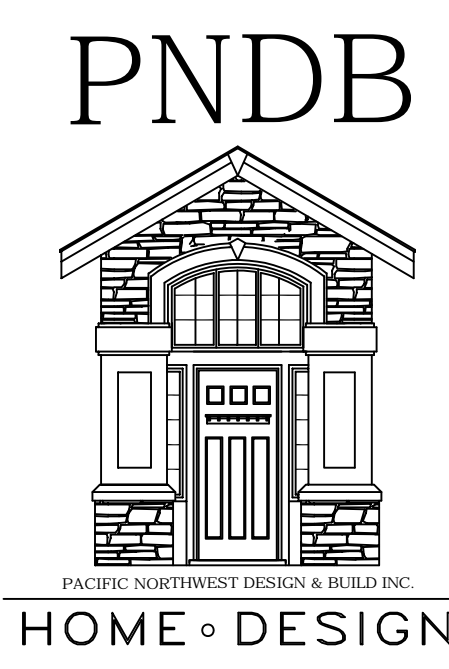


(E) WEST ELEVATION $\frac{1}{4}'' = 1'-0''$

REVISIONS:

DATE:	

CONTACT:
PACIFIC NORTHWEST DESIGN AND BUILD
 ADDRESS:
 15209 84th Ave CT E
 Puyallup wa. 98375
 (253)466-3816



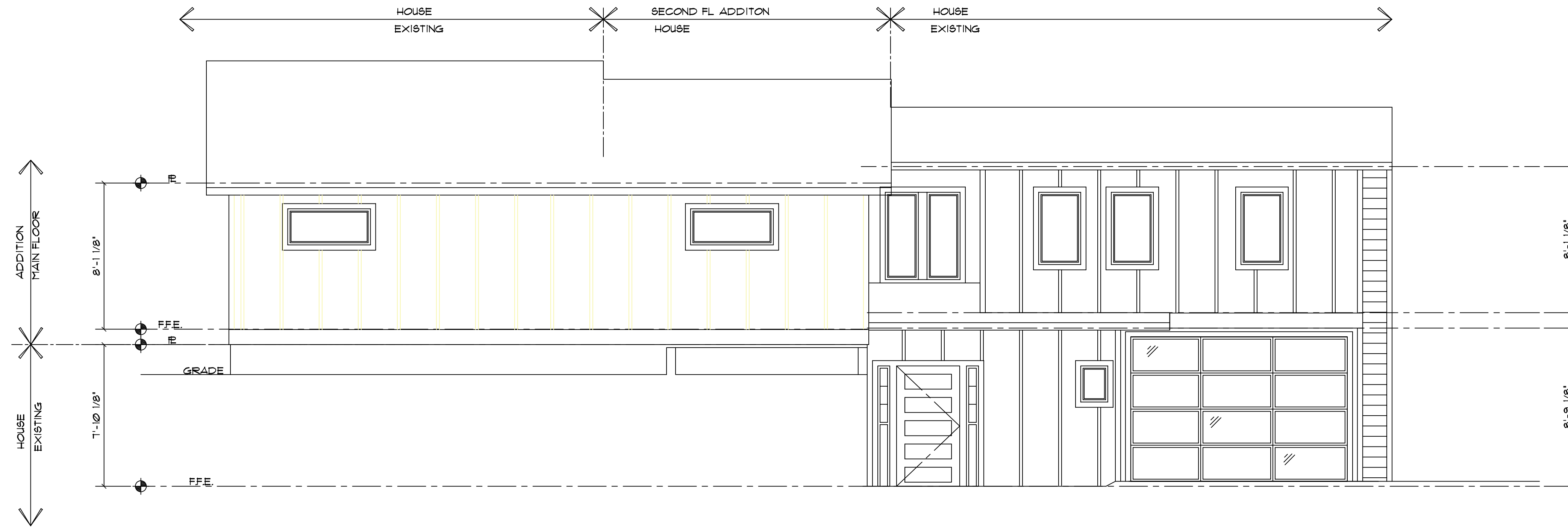
PROJECT NAME:
BUXTON ADDITION
 SITE ADDRESS/OWNER:
 8031 Mercer Way
 Mercer Island, WA 98040

CONTENT:

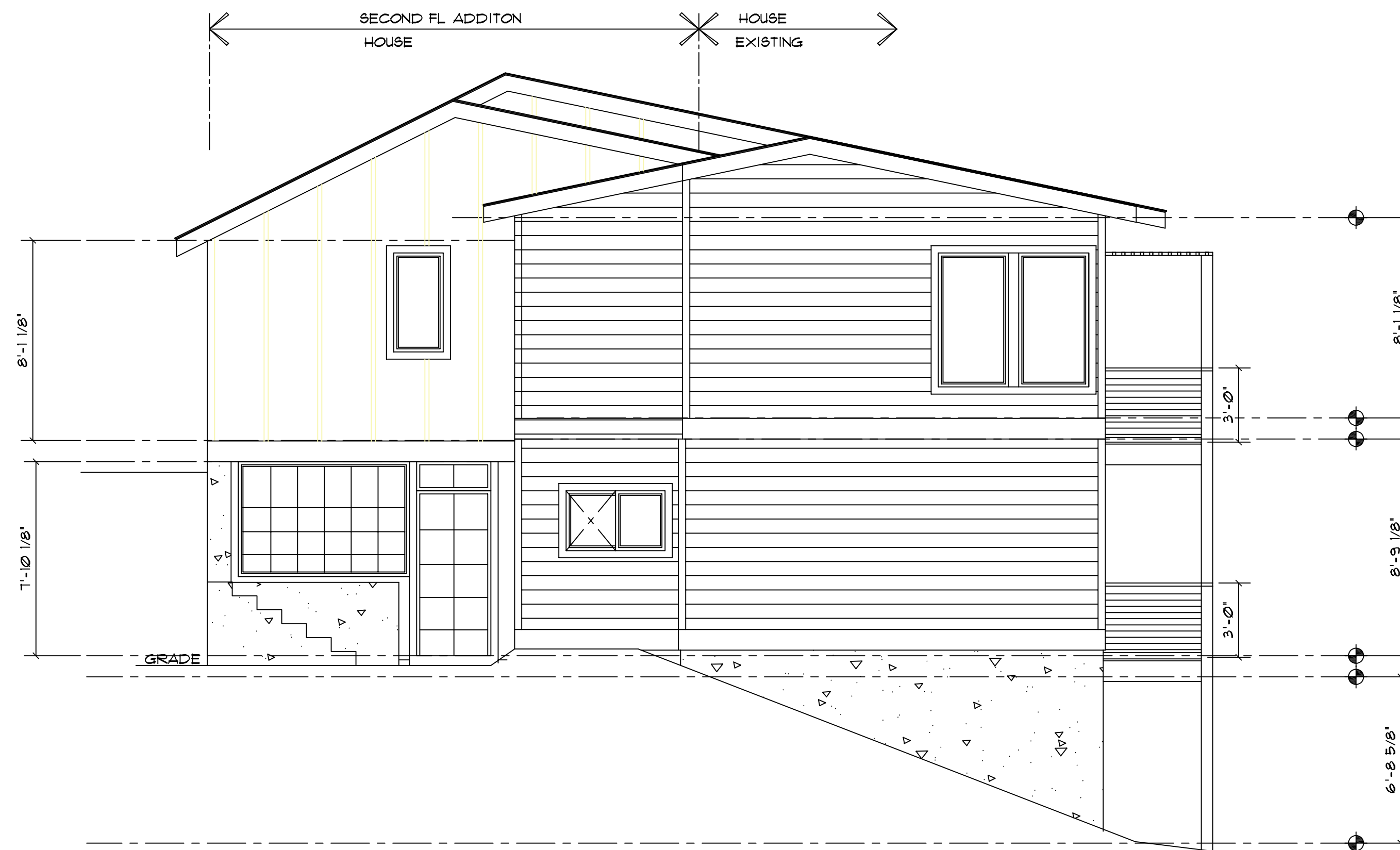
(E) ELEVATIONS

DRAWN BY:	BP
DATE:	09/16/2022
SCALE:	1/4" = 1'-0"
PROJECT #:	A-0194
SHEET NO.:	A4-2

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OR DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.



(N) SOUTH ELEVATION $\frac{1}{4}'' = 1'-0''$



(N) EAST ELEVATION $\frac{1}{4}'' = 1'-0''$

NOTE:
 MAIN ENTRANCE DOOR TO HAVE A DOOR VIEWER WINDOW OR SIDELIGHT.
 SIDELIGHTS OR WINDOWS WITHIN 36" OF A LOCKING DOOR MUST BE SAFETY GLASS OR WIRED GLASS.
 ALL EXTERIOR OR ENTRANCE DOORS REQUIRE:
 SOLID BLOCKING AT LOCK HEIGHT ON BOTH SIDES OF DOOR FOR TWO STUD SPACES (EXCEPT WHERE SIDELIGHTS OCCUR).
 DEAD BOLT LOCKS WITH 1" THROW HINGES WITH 3" SCREWS INTO SOLID BLOCKING STRIKER PLATES TO BE FASTED WITH 3" SCREWS INTO SOLID BLOCKING.
 ALL JOINTS IN VAPOUR BARRIER TO BE LAPPED 4" AND OCCUR OVER FRAMING MEMBERS OR SEALED WITH CAULKING.
 ALL HOLES THROUGH VAPOUR BARRIER FOR WIRES ELECTRICAL BOXES, PIPING, DUCTS, ETC. SHALL BE SEALED.
 SILL PLATES TO BE PRESSURED TREATED OR SEPARATED BY DAMPROOFING MATERIAL.
 MOISTURE RESISTANT BACKING IS REQUIRED AROUND BATHTUBS OR SHOWER WHERE CERAMICS AND PLASTIC TILE IS INSTALLED.

REVISIONS:	
DATE:	

CONTACT:
PACIFIC NORTHWEST DESIGN AND BUILD
 ADDRESS:
 15209 84th Ave CT E
 Puyallup, Wa. 98375
 (253)466-3816



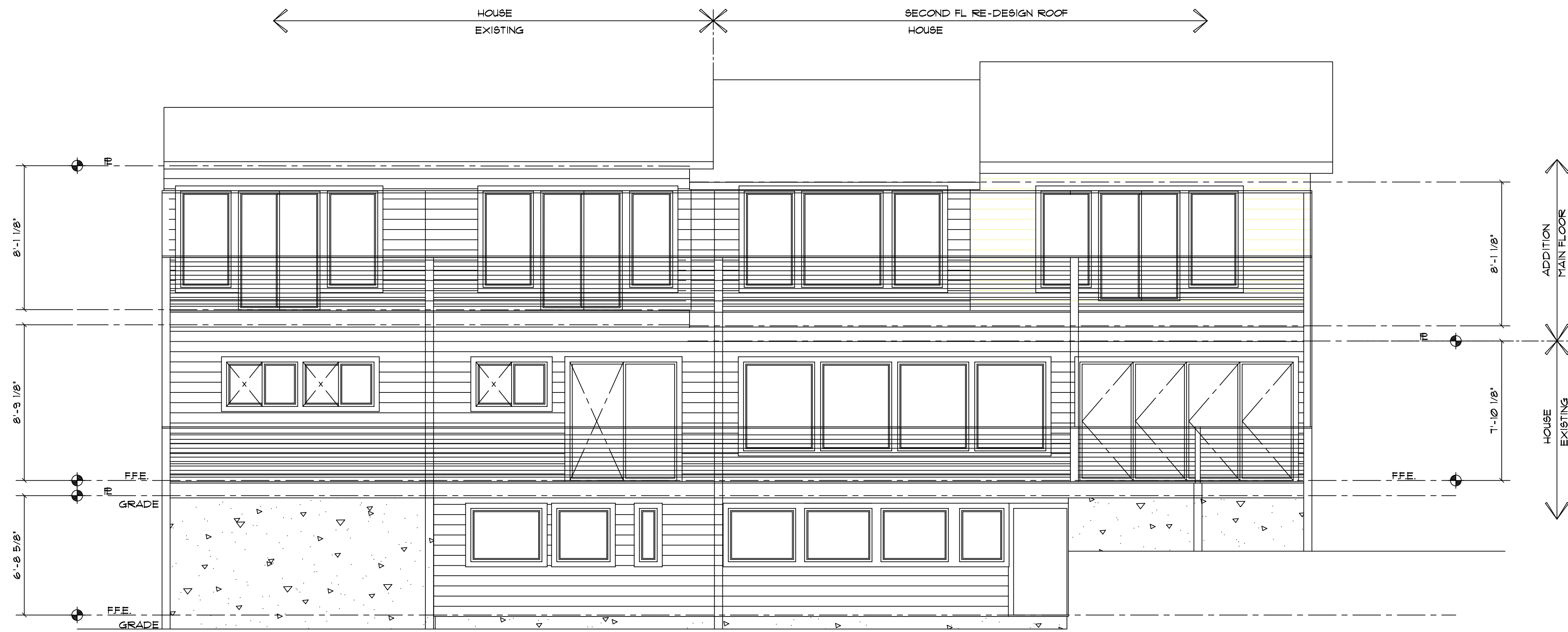
PROJECT NAME: **BUXTON ADDITION**
 SITE ADDRESS/OWNER:
 8091 Mercer Way
 Mercer Island, WA, 98040

CONTENT:
 (N) ELEVATIONS

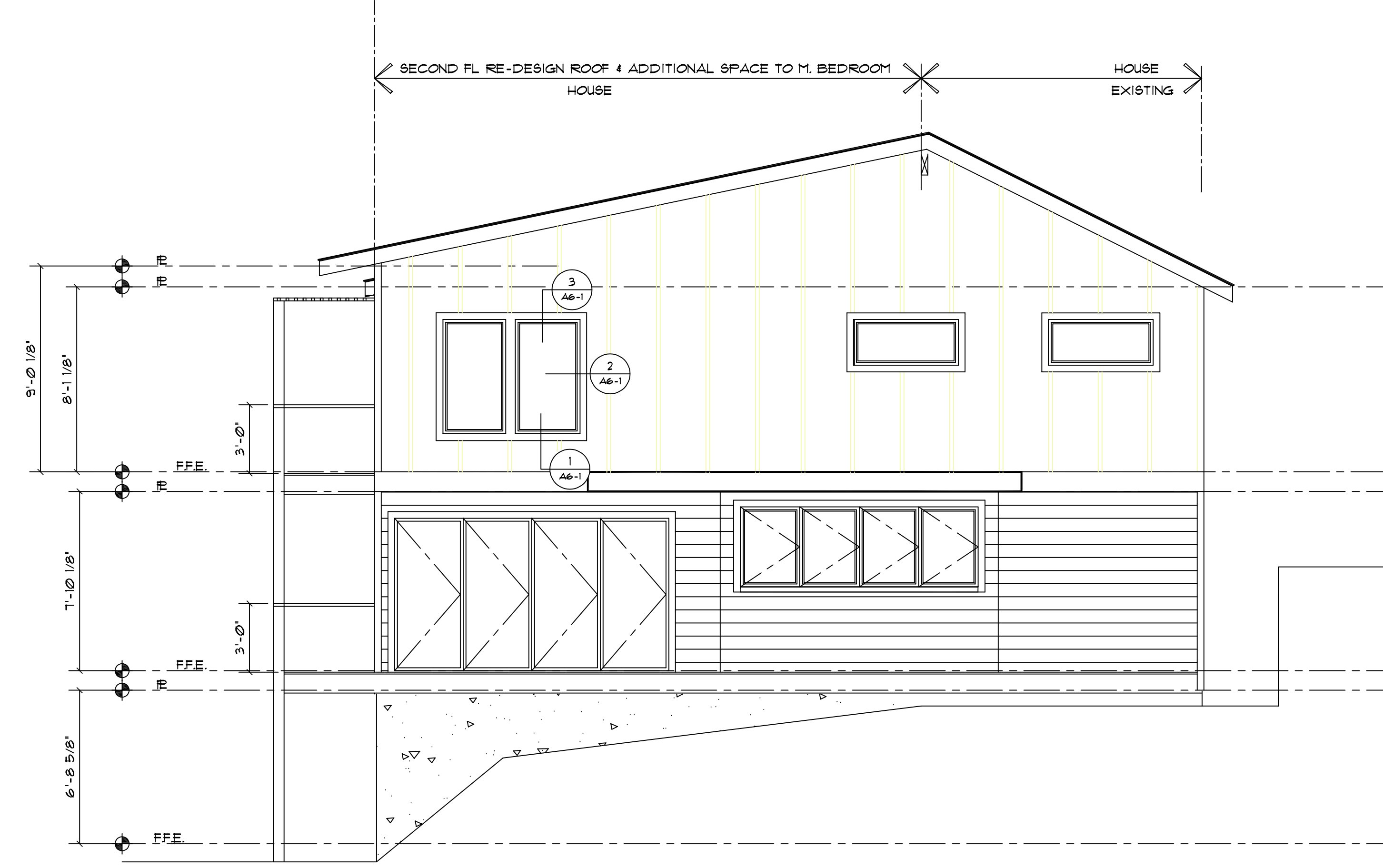
DRAWN BY: **BP**
 DATE: **09/26/2022**
 SCALE: **1/4" = 1'-0"**
 PROJECT #: **A-2024**

SHEET NO:
A4-3

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.



(N) NORTH ELEVATION $\frac{1}{4}'' = 1'$



(N) WEST ELEVATION $\frac{1}{4}'' = 1'-0''$

REVISIONS:

DATE:	

CONTACT:
PACIFIC NORTHWEST DESIGN AND BUILD
 ADDRESS:
 15209 84th Ave CT E
 Puyallup, Wa. 98375
 (253)466-3816



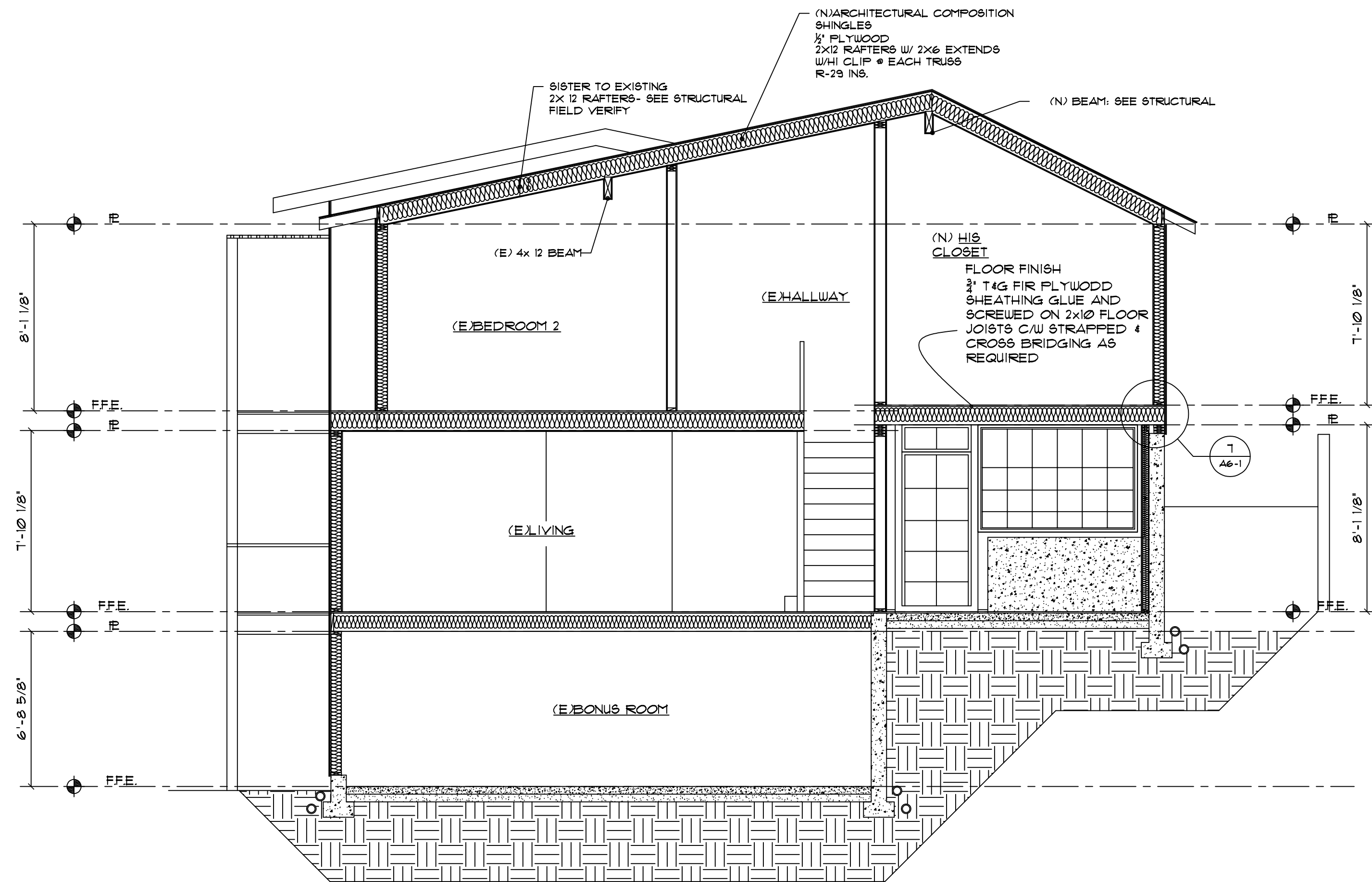
PROJECT NAME:
BUXTON ADDITION
 SITE ADDRESS/OWNER:
 80931 Mercer Way
 Mercer Island, WA, 98040

CONTENT:

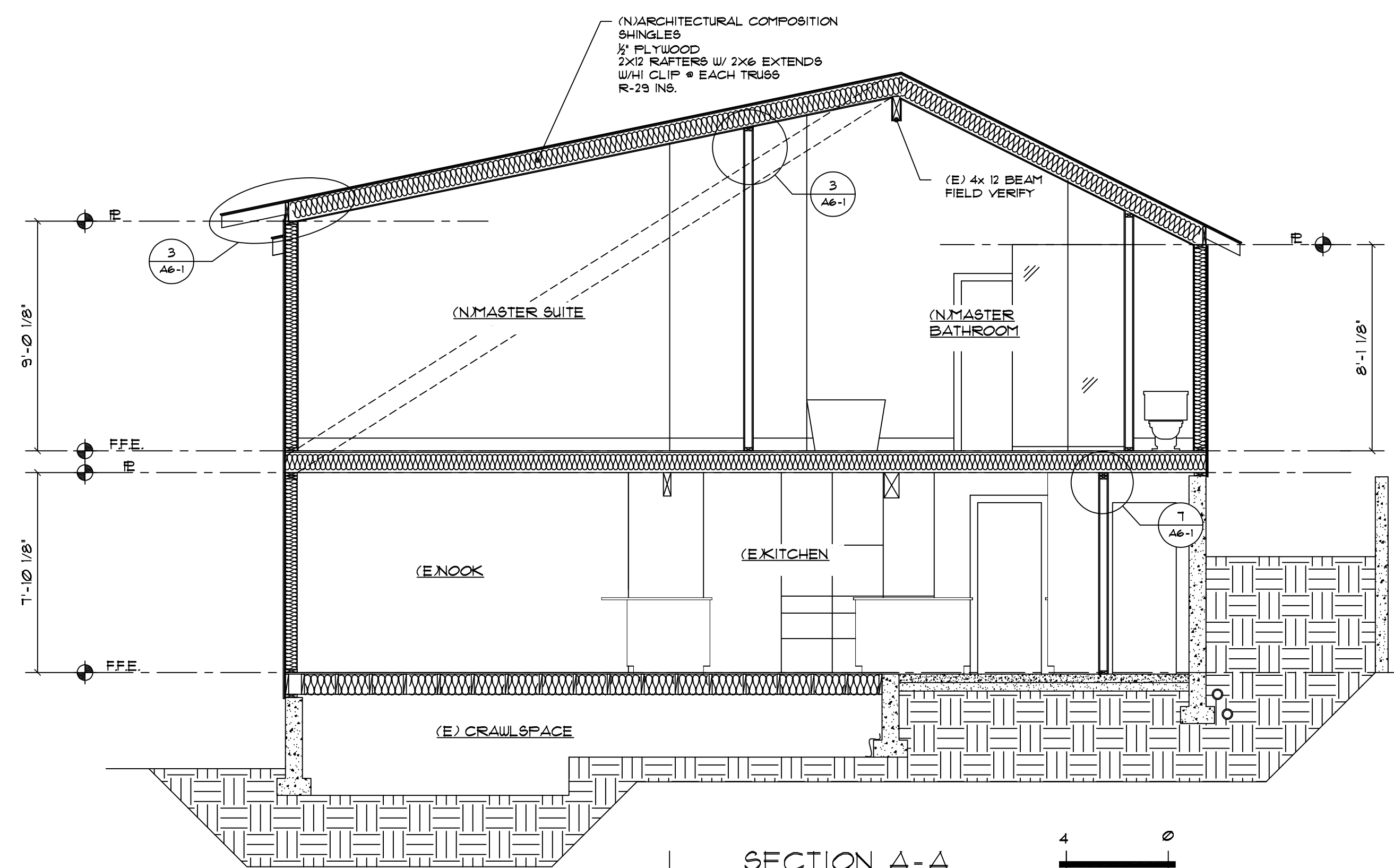
(N) ELEVATIONS

DRAWN BY:	BP
DATE:	09/26/2022
SCALE:	1/4" = 1'-0"
PROJECT #:	A-0194
SHEET NO.:	A4-4

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.



SECTION B-B
 4
 1/4" = 1'-0"



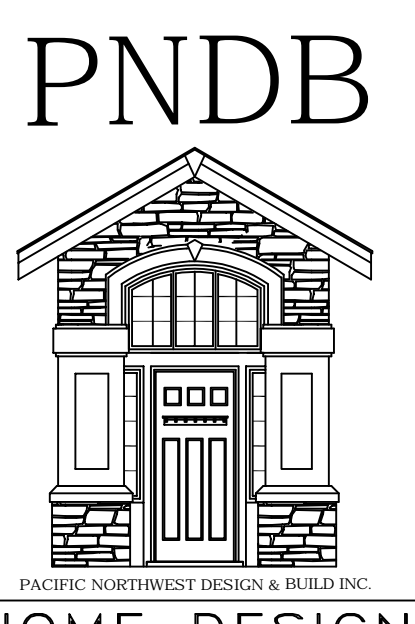
SECTION A-A
 4
 1/4" = 1'-0"

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.

REVISIONS:

DATE:	

CONTACT:
 PACIFIC NORTHWEST
 DESIGN AND BUILD
 ADDRESS:
 15209 84th Ave CT E
 Tukwila, WA 98148
 (206) 466-3816

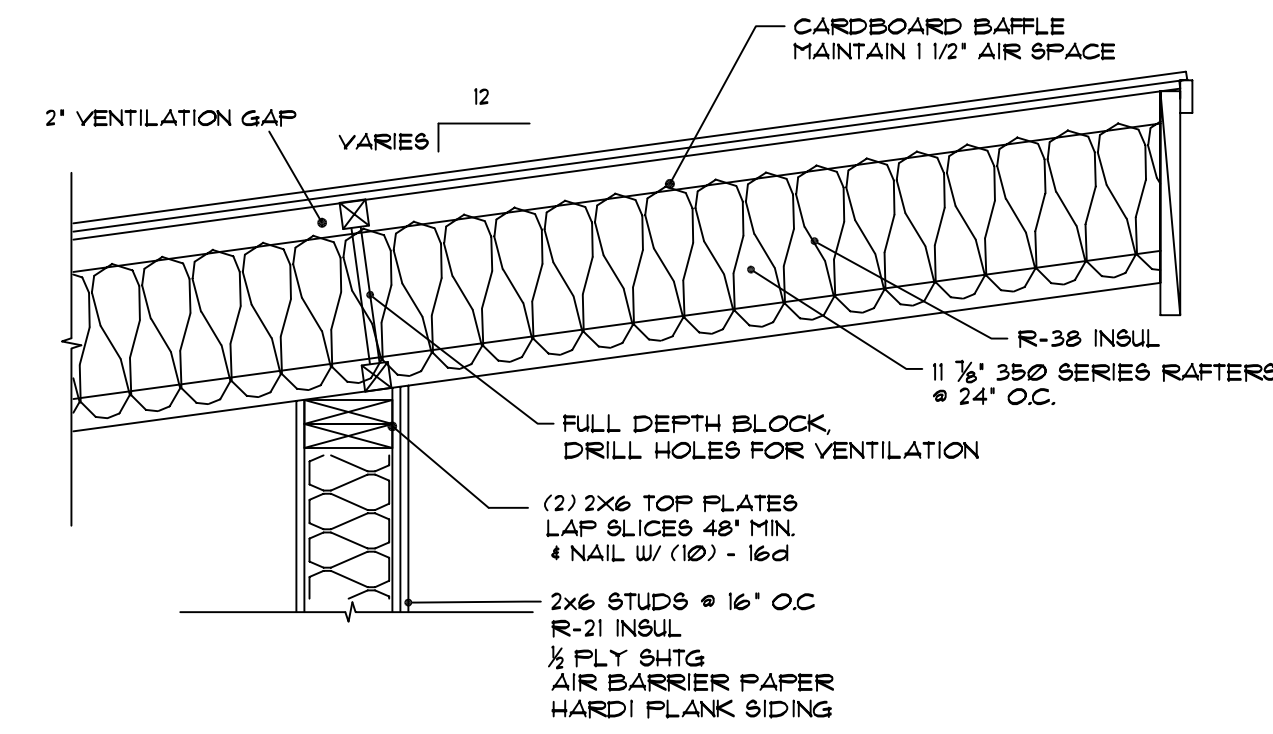


PROJECT NAME:
 BUXTON ADDITION
 SITE ADDRESS/OWNER:
 8091 Mercer Way
 Mercer Island, WA 98040

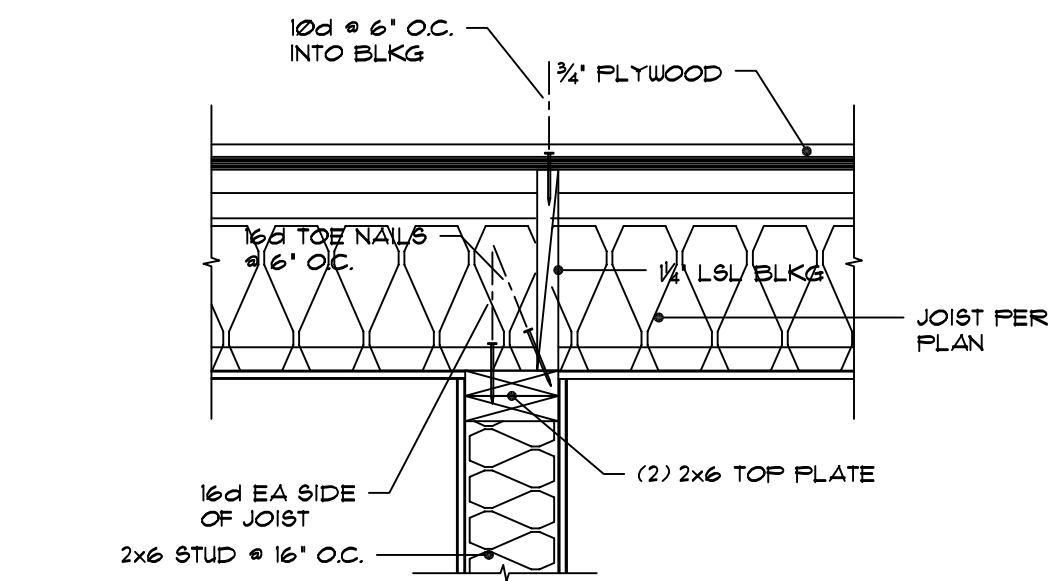
CONTENT:
 NEW
 SECTIONS
 PLAN

DRAWN BY:	BP
DATE:	09/26/2022
SCALE:	1/4" = 1'-0"
PROJECT #:	A-0194

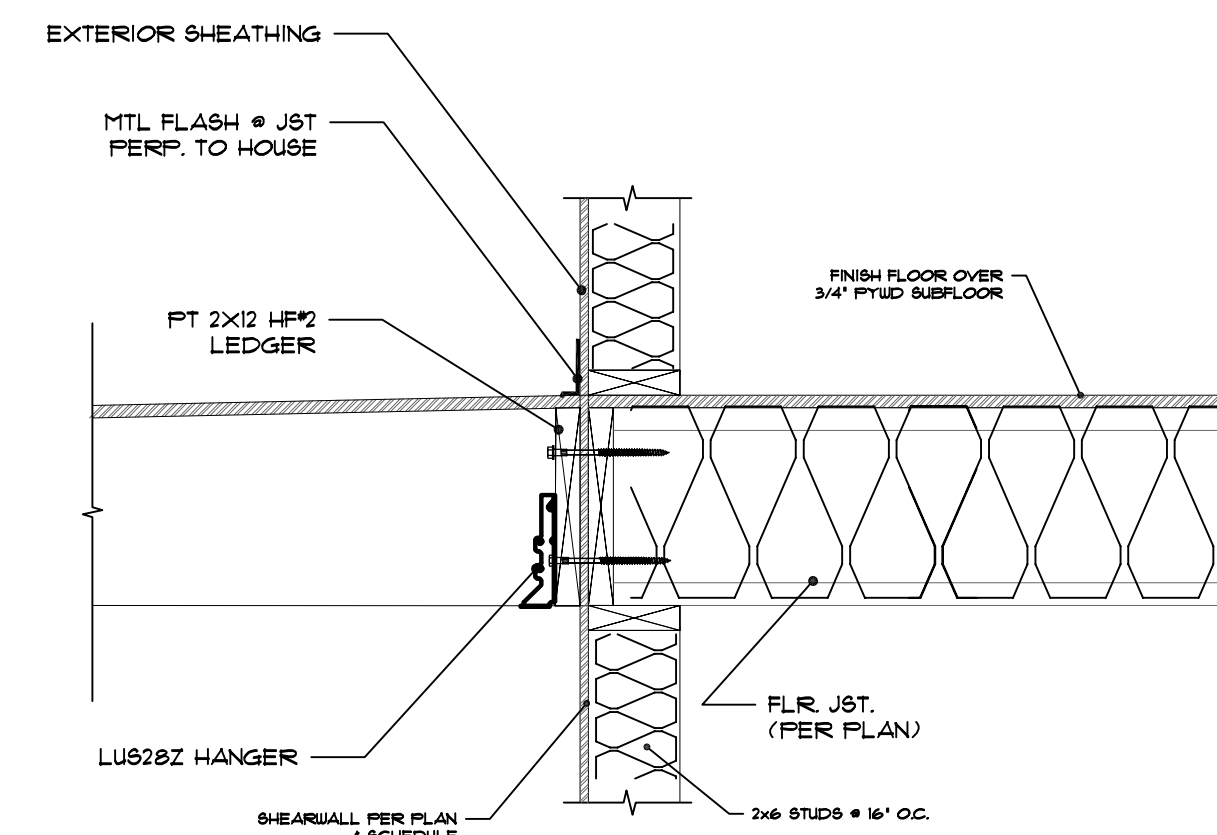
SHEET NO:
 A5-1



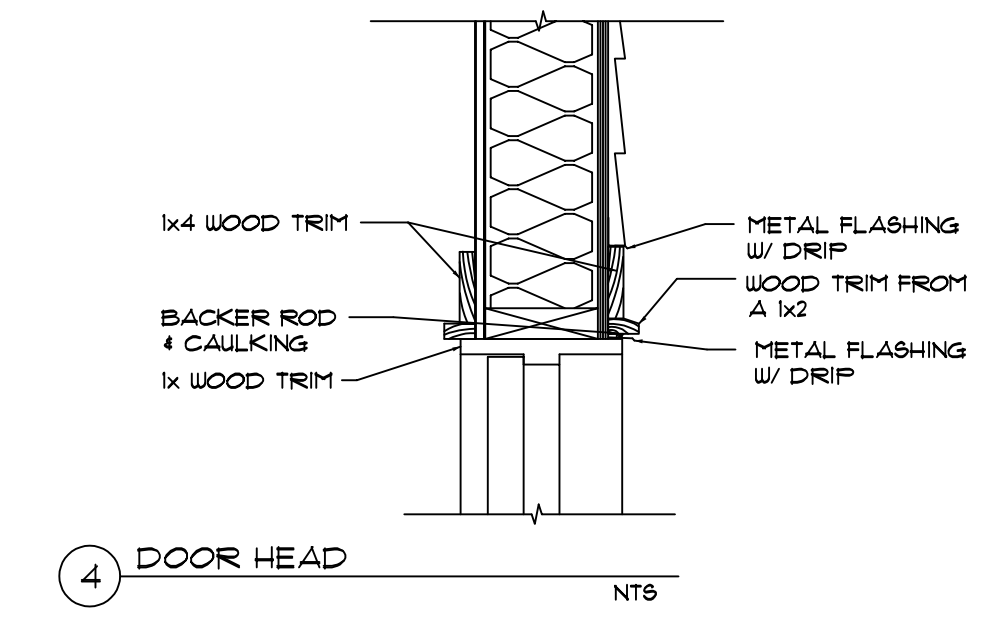
5 OVERHANG



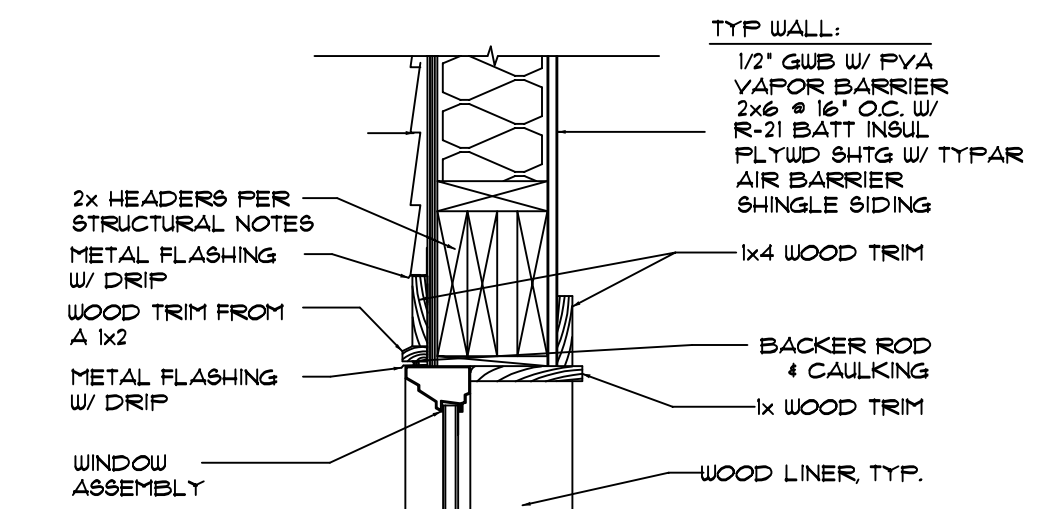
5 INTERIOR WALL



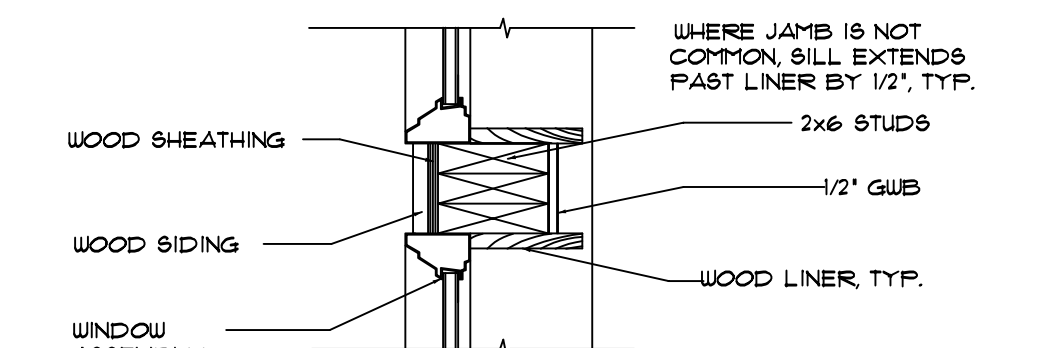
6 DECK - OVERHANG



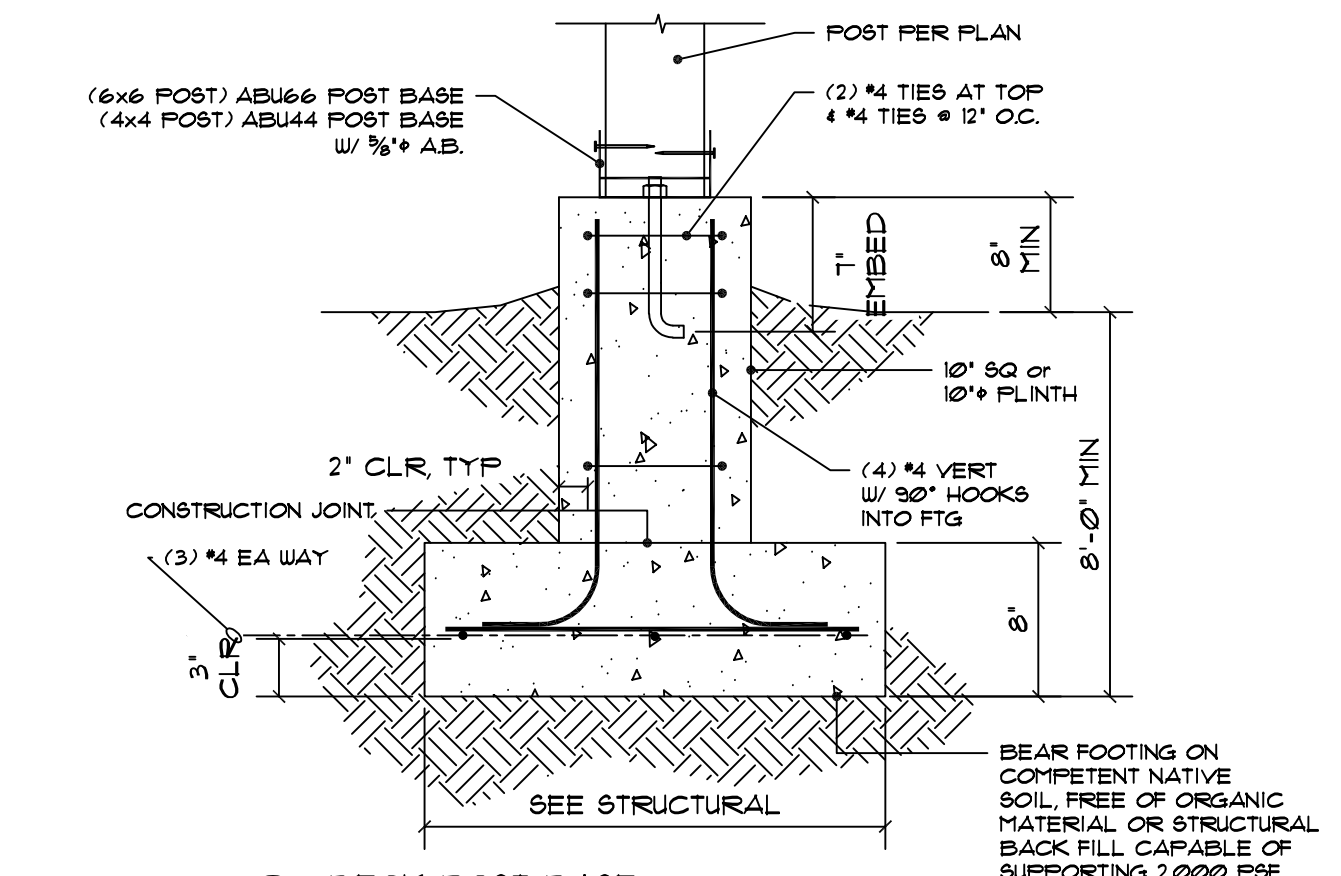
4 DOOR HEAD



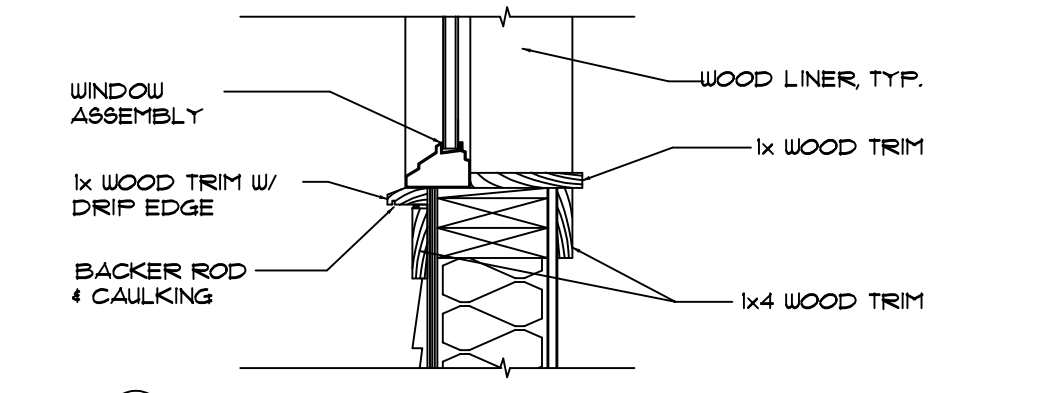
3 WINDOW HEAD



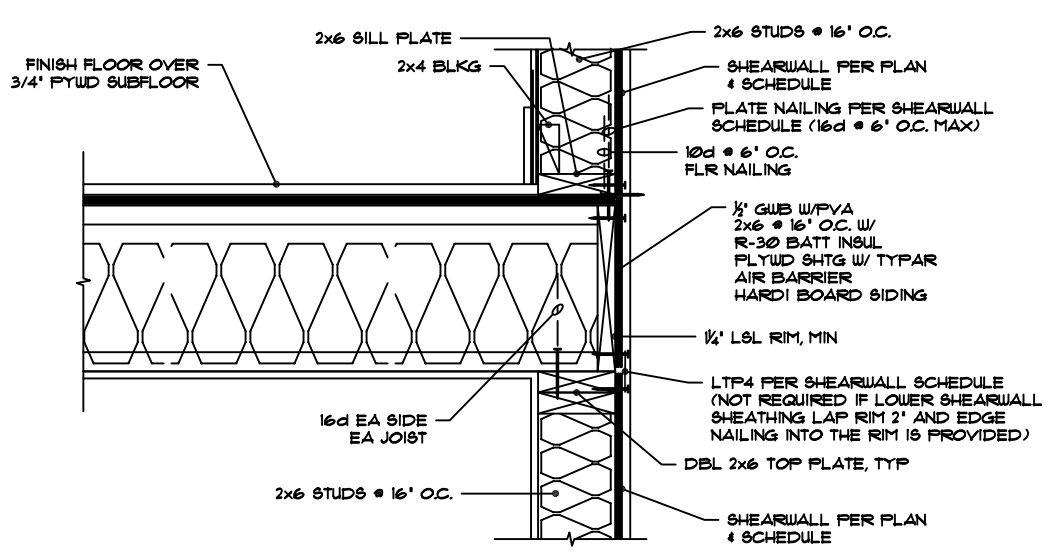
2 WINDOW JAMB



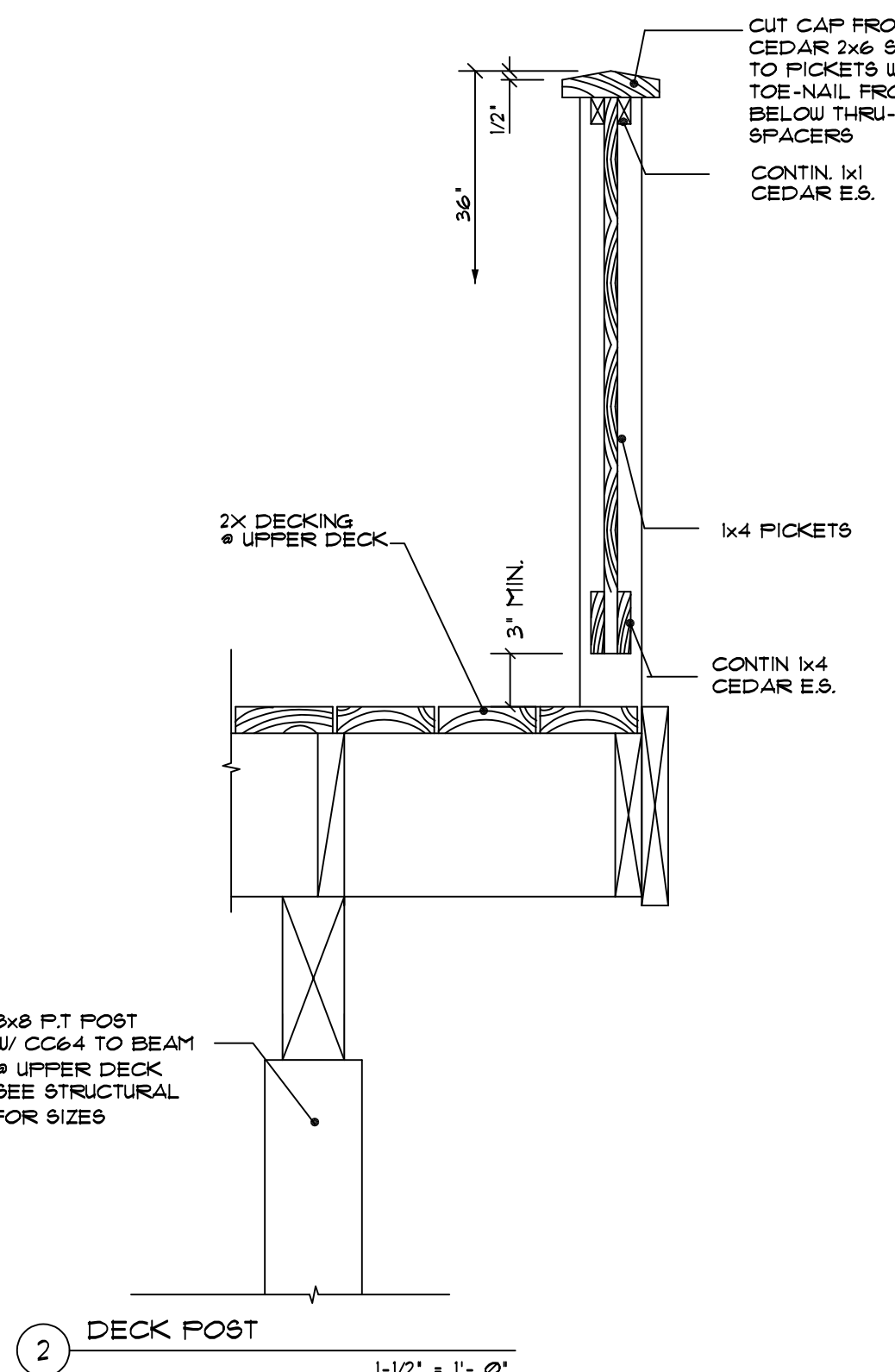
6 DECK POST BASE



1 WINDOW SILL



7 WALL @ LOWER FLOOR



2 DECK POST

REVISIONS:	
DATE:	

CONTACT:
PACIFIC NORTHWEST DESIGN AND BUILD
 ADDRESS:
 15209 84th Ave CTE
 Puyallup, wa. 98315
 (253)466-3816



PROJECT NAME: **BUXTON ADDITION**
 SITE ADDRESS/OWNER:
 8031 Mercer Way
 Mercer Island, WA, 98040

CONTENT:	
DETAILS	
DRAWN BY:	BP
DATE:	09/26/2022
SCALE:	1/4"=1'-0"
PROJECT #:	A-0194
SHEET NO.:	A6=1

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK. REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD.

Window, Skylight and Door Schedule

Project Information table with fields: Burton Residence, 8097 Mercer Way, Mercer Island, WA, 98040

Contact Information table with fields: Pacific Northwest Design and Build, 15209 84th Ave E, Puyallup WA 98375

Table for Exempt Swinging Door and Exempt Glazed Fenestration with columns for Ref, U-factor, Width, Height, Area, UA

Vertical Fenestration (Windows and doors)

Table for Vertical Fenestration with columns for Component, Description, Ref, U-factor, Width, Height, Area, UA

Sum of Vertical Fenestration Area and UA, Vertical Fenestration Area Weighted U = UA/Area

Overhead Glazing (Skylights)

Table for Overhead Glazing with columns for Component, Description, Ref, U-factor, Width, Height, Area, UA

Sum of Overhead Glazing Area and UA, Overhead Glazing Area Weighted U = UA/Area

Total Sum of Fenestration Area and UA (for heating system sizing calculations)

2018 Washington State Energy Code Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family New & Additions (effective February 1, 2021)

These requirements apply to all IRC building types, including detached one- and two-family dwellings and multiple single-family dwellings (townhouses).

Project Information and Contact Information table

Instructions: This single-family project will use the requirements of the Prescriptive Path below and incorporate the minimum values listed.

Provide all information from the following tables as building permit drawings: Table R402.1 - Insulation and Fenestration Requirements by Component, Table R406.2 - Fuel Normalization Credits and 406.3 - Energy Credits.

Authorized Representative table with fields: Brenda Peck, Date 05/02/2023

All Climate Zones (Table R402.1.1) table with columns for Component, R-Value, U-Factor

2018 Washington State Energy Code Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family New & Additions (effective February 1, 2021)

Each dwelling unit in a residential building shall comply with sufficient options from Table R406.2 (fuel normalization credits) and Table 406.3 (energy credits) to achieve the following minimum number of credits.

- 1. Small Dwelling Unit: 3 credits
2. Medium Dwelling Unit: 6 credits
3. Large Dwelling Unit: 7 credits
4. Additions less than 500 square feet: 1.5 credits

Before selecting your credits on this Summary table, review the details in Table 406.3 (Single Family), on page 4.

Summary of Table R406.2 table with columns: Heating Options, Fuel Normalization Descriptions, Credits - select ONE heating option, User Notes

Energy Options table with columns: Energy Credit Option Descriptions, Credits - select ONE energy option from each category d, User Notes

Energy Options (cont.) table with columns: Energy Credit Option Descriptions (cont.), Credits - select ONE energy option from each category d, User Notes

- a. An alternative heating source sized at a maximum of 0.5 W/sf (equivalent) of heated floor area or 500 W, whichever is bigger, may be installed in the dwelling unit.
b. Equipment listed in Table C403.3.2(4) or C403.3.2(5)
c. Equipment listed in Table C403.3.2(1) or C403.3.2(2)
d. You cannot select more than one option from any category EXCEPT in category 5. Option 5.1 may be combined with options 5.2 through 5.6. See Table 406.3.
e. 1.0 credit for each 1,200 kWh of electrical generation provided annually, up to 3 credits max.

MECHANICAL VENTILATION SYSTEM

M1505.1 WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH THIS SECTION.

M1505.2 RECIRCULATION OF AIR. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL NOT BE RECIRCULATED WITHIN A RESIDENCE OR CIRCULATED TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.

M1505.3 EXHAUST EQUIPMENT SERVING SINGLE DWELLING UNITS SHALL BE LISTED AND LABELED AS PROVIDING THE MINIMUM REQUIRED AIRFLOW IN ACCORDANCE WITH ANSI/AMCA 210-ANSI/ASHRAE 61.

M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM. WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4

M1505.4.1 SYSTEM DESIGN. THE WHOLE-HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUSTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE AS SUCH A SYSTEM.

M1505.4.2 SYSTEM CONTROLS. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE.

M1505.4.3. MECHANICAL VENTILATION RATE. THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(1) OR EQUATION 15-1.

EXCEPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE 1505.4.3(2)

Table with columns: Dwellling Unit Floor Area (sqft), Number of Bedrooms, Airflow in CFM, Intermittent Whole-House Mechanical Ventilation Rate Factors, Minimum Required Exhaust Rates

MECHANICAL HEATING EQUIPMENT. ALL WARM-AIR FURNACES SHALL BE LISTED AND LABELED BY A NO. WARM-AIR FURNACES SHALL BE INSTALLED IN A ROOM USED OR DESIGNED TO BE USED AS A BEDROOM, BATHROOM, CLOSET OR IN ANY ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM OR SPACE.

TEMPERATURE CONTROL. MECHANICAL VENTILATION SYSTEMS SHALL BE PROVIDED WITH MANUAL OR AUTOMATIC CONTROLS THAT WILL OPERATE SUCH SYSTEMS WHENEVER THE SPACES ARE OCCUPIED.

VENTILATION. EVERY FACTORY BUILT CHIMNEY, TYPE L VENT, TYPE B GAS VENT OR TYPE B GAS BENT SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF ITS LISTING.

- UTILITY ROOM NOTES/MAKE UP AIR: 1. WHERE THE EXHAUST DUCT IS CONCEALED WITHIN THE BUILDING CONSTRUCTION, THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL, OR TAG, THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FT OF THE EXHAUST DUCT CONNECTION. 2. INSTALLATIONS EXHAUSTING MORE THAN 200 CFM SHALL BE PROVIDED WITH MAKE-UP AIR WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING HAVING AN AREA OF NOT LESS THAN 100 sq. INCHES FOR MAKE UP AIR SHALL BE PROVIDED IN THE CLOSET ENCLOSURE, OR MAKE UP AIR SHALL BE PROVIDED BY OTHER APPR. MEANS.

CODES AND STANDARDS

ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.

IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO ENSURE THAT CHANGES TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN.

PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS, AND SPECIFICATIONS OF THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.

ANY VARIANCE FROM STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY.

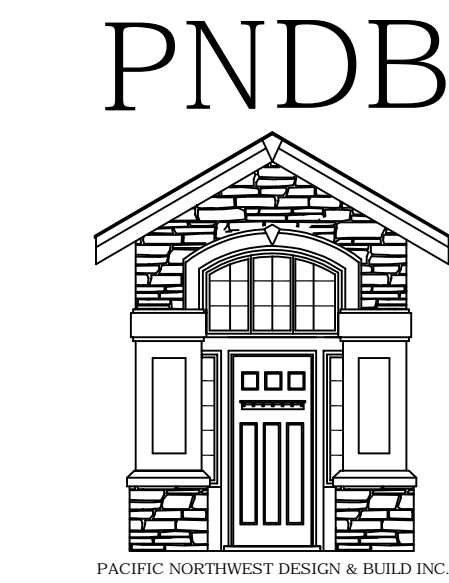
ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BY LAWS WHICH MAY TAKE PRECEDENCE.

CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIAL OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.

IN THE EVENT OF A CONFLICT APPLICABLE CODES AND REGULATIONS AND REFERENCE STANDARDS OF THE PLANS AND SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.

REVISIONS table with columns: DATE, REVISIONS

CONTACT: PACIFIC NORTHWEST DESIGN AND BUILD, ADDRESS: 15209 84th Ave CT E, Puyallup WA 98375, (253)466-3816



HOME DESIGN

PROJECT NAME: BUXTON ADDITION, SITE ADDRESS/OWNER: 8097 Mercer Way, Mercer Island, WA, 98040

ENERGY SHEET table with fields: DRAWN BY: BFP, DATE: 05/26/2022, SCALE: 1/4"=1'-0", PROJECT #: A-0194, SHEET NO: A8-1