

DRAWING SCHEDULE

COVER SHEET/ GENERAL NTS (E) BASEMENT FL PLAN

A2-2(E) MAIN FL PLAN

A2-3(E) SECOND/DEMO, SEC. FL PLAN

(N) PROPOSED SEC FLOOR PLAN $\Delta 2 - 4$

NEW/EXISTING ROOF PLAN A2-5

FRAMING PLANS - SEE STRUCTURAL

(E) ELEVATIONS 4-1

(E) ELEVATIONS

(N) ELEVATIONS A4-3

(N) ELEVATIONS

(N)SECTIONS A5-1

A6-1 DETAILS GENERAL NOTES

ENERGY SHEETS

TAX PARCEL NO

335850-0265

ZONING CODE

CLASSIFICATION: 1101-SINGLE FAMILY DWELLING

LOT AREA: 23,225 SF

LEGAL DESCRIPTION

HILLMANS C D SEA SHORE LAKE FRONT TR 463 THRU 466 TOW POR OF TR 583 LY SLY OF LN DAF - BEG AT NE COR SD TR 583 TH S 23-28-13 W 200 FT TH N 75-53-10 W TO BDRY BTWN 583 & 584 AS PER SCC # 80-2-00670-3 REC # 8107100752 SURV 8107109001 TGW SH LDS & UNPLTD STRIP ADJ AKA LOT B MI LLA 85-01-01 APPR 5-18-87

BUILDING CODE

ALL WORK TO CONFORM TO: 2018 INTERNATIONAL BLDG. CODE (IBC) 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 WASHINGTON STATE ENERGY CODE RESIDENTIAL PROVISIONS (WSEC) 2018 UNIFORM PLUMING CODE (IAPMO) AS AMENDED BY UNINCORPORATED PIERCE COUNTY AND AUTHORITIES OF JURISDICTION. MECHANICAL & ELECTRICAL PERMITS TO BE ACQUIRED BY OTHERS PLUMBING PERMITS TO BE ACQUIRED BY OTHERS

PROJECT DESCIPTION

REMODEL/ADDITION OF EXISTING MASTER BEDROOM/CLOSET & BATHROOM, ADDED MASTER CLOSET TOTAL 176 LIVING SPACE, TOTAL REMODEL 660SF

ALTERATIONS TO AN EXISTING BUILDING SYSTEM SHALL CONFORM TO THE PROVISIONS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE, RESIDENTIAL PROVISIONS AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION W/O REQUIRING THE UNALTERED PORTION OF THE EXISTING BUILDING SYSTEM TO COMPLY WITH THIS CODE. SEE R502.1

ADDITION FOOTAGE CALCULATION:

PRO. REMODEL SEC FL 176 SQ.FT. 660 SQ.FT ADDITION SEC FL

1,150 SQ.FT (E) MAIN FL (E) SEC. FL 1,530 SQ.FT. (E) BASEMENT 800 SQ.F.T TOTAL SQ.FT: 4,316 SQ.FT

(E)GARAGE 610 SQ.FT. (E) WOOD DECK 1,180 SQ.FT. (N) WOOD DECK 642 SQ.FT.

ENERGY CODE

CODE: WASHINGTON STATE ENERGY CODE, 2015 EDITION, PRESCRIPTIVE METHOD, TABLE R 402.1.1 OR BETTER WITH MINIMUM BELOW: INSULATION:

ROOF: FLAT CEILING R-38 ROOF: FLAT CEILING - A. FRAMING WALLS: R-21

R-10/15/21 INT+TB WALLS (BELOW GRADE): SLAB (FULL) R-10 FLOORS:

R-38 E.C.= .5 WATER SUPPLY: R-3.5

FENESTRATION: FENESTRATION U-FACTOR: U-.28 E.C.= .5

SKYLIGHT U-FACTOR: U-.50

*See sheet A8-1 for complete description

ENERGY EFFICIENCY REQ.

OPTION: 1.3 CREDIT VALUE: 0.5 TOTAL CREDITS: 3.0 CREDIT VALUE: 0.5 OPTION: 2.1 CREDIT VALUE: 1.0 OPTION: 3.1 OPTION: 5.3 CREDIT VALUE: 1.0

OWNERS:

Malcolm and Debra Buxton CONTACT: (949)-637-5088 ADDRESS: 8097 Mercer Way Mercer Island, WA. 98040 EMAIL: debra@worldandwillow.com

DESIGNER/DRAFTER:

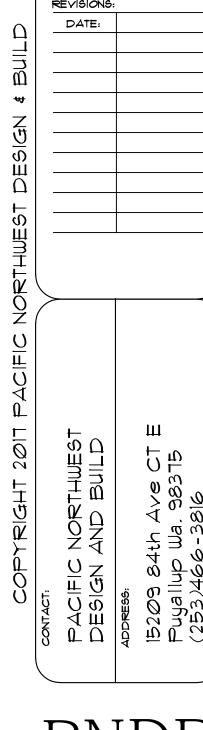
PACIFIC NORTHWEST DESIGN AND BUILD CONTACT: (253) 466-3816 ADDRESS: 15526 84TH AVE PUYALLUP WA. 98375

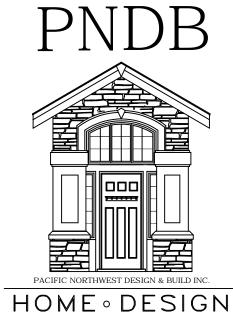
CONTRACTOR:

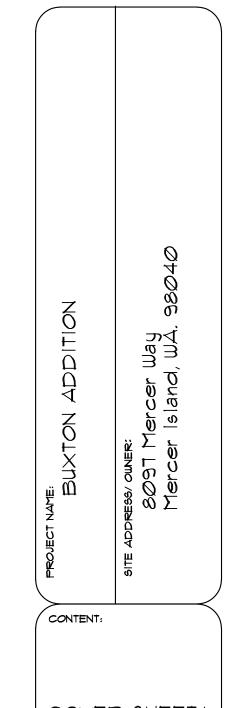
Owner Contractor: WORLD AND WILLOW CONTACT: (949)-637-5088 ADDRESS: 8097 Mercer Way Mercer Island, WA. 98040











COVER SHEET GENERAL INFORMATION DRAWN BY: 09/26/2022 DATE:

SCALE: 1/4"=1'-0" A-Ø194 PROJECT *: SHEET NO:

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL TRADES REQUIRED TO PERFORM DEMOLITION WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.

DOCUMENTS.

WHERE PARTIONS ARE TO BE REMOVED, ALL ELECTRICAL OUTLETS
SWITCHES SHALL BE DISCONNECTED AT SUPPLY JUNCTION BOX.

WHERE GLUE-DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED
FLOORING IS BEING REMOVED, REMOVE ALL ADHESIVES TO LEAVE
FLOOR WITH SMOOTH, LEVEL SURFACE.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY, SAFEGUARDS,

4. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY, SAFEGUARDS,
BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC.,
AS REQUIRED DURING DEMOLITION.

THE CONTRACTOR SHALL PROTECT NEW AND EXISTING MATERIALS
AND FINISHES FROM DAMAGE WHICH MAY OCCUR DURING
CONSTRUCTION. DAMAGE TO EXISTING MATERIALS, FINISHES,
STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED
TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE

CONTRACTOR.

6. THE SUB-CONTRACTORS SHALL REMOVE ALL WASTE MATERIALS AND CLEAN AREA ON A DAILY BASIS, AND THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE.

7. THE CONTRACTOR SHALL CAREFULLY STOCKPILE ANY DOORS,

FIXTURES, ETC., THAT THE OWNER MAY DEEM FIT FOR FUTURE USE..

8. OWNER SHALL RESERVE THE RIGHT TO KEEP ALL SALVAGEABLE MATERIALS SUCH AS CABINETRY, DOORS, & HARDWARE, PLUMBING, FIXTURES, LIGHT FIXTURES, ETC.

WALL LEGEND

EXISTING WALL ______

DEMO. NOTE

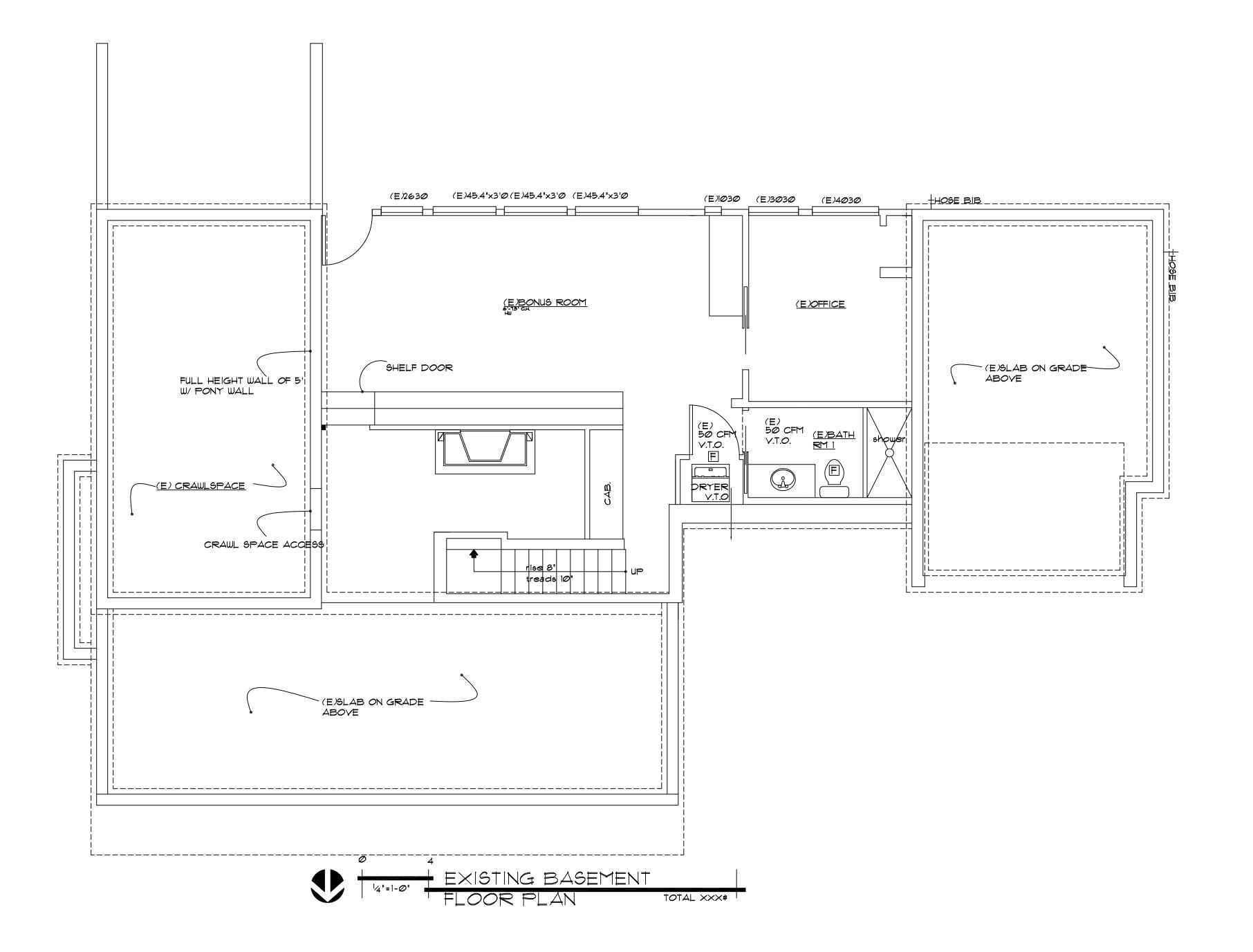
DEMOLITION SCHEDULE

MK REMARKS

1 NO DEMOLITION HAPPENING IN BASEMENT

NOTES:

R 301.1 APPLICATION.
BUILDINGS AND STRUCTURES, AND PARTS THEREOF, SHALL BE
CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING
DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, WIND
LOADS AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE. THE
CONSTRUCTION OF BUILDINGS AND STRUCTURES IN ACCORDANCE
WITH THE PROVISIONS OF THIS CODE SHALL RESULTS IN A SYSTEM
THAT PROVIDES A COMPLETE LOAD PATH THAT MEETS ALL
REQUIREMENTS FOR THE TRANSFER OF ALL LOADS FROM THEIR
POINT OF ORIGIN THROUGH THE LOAD-RESISTING ELEMENTS TO
THE FOUNDATION.



ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK, REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT.

THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD

REVISIONS:
DATE:

DATE:

VUICE

UNDITIONAL

PATE:

DATE:

PACIFIC NORTHWEST
DESIGN AND BUILD
ADDRESS.

15209 84th Ave CT E
Puyallup Wa. 98375

PNDB

HOME · DESIGN

PROJECT NAME:
BUXTON ADDITION
SITE ADDRESS/ OWNER:
8097 Mercer Uay
Mercer Island, WA. 98040

CONTENT:

EXISTING BASEMENT FLOOR PLAN

DRAWN BY:	BP
DATE:	<i>0</i> 9/26/2 <i>0</i> 22
SCALE:	1/4"=1'-@"
PROJECT *:	A-Ø194
SHEET NO:	

GENERAL DEMOLITION NOTES

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WALL LEGEND

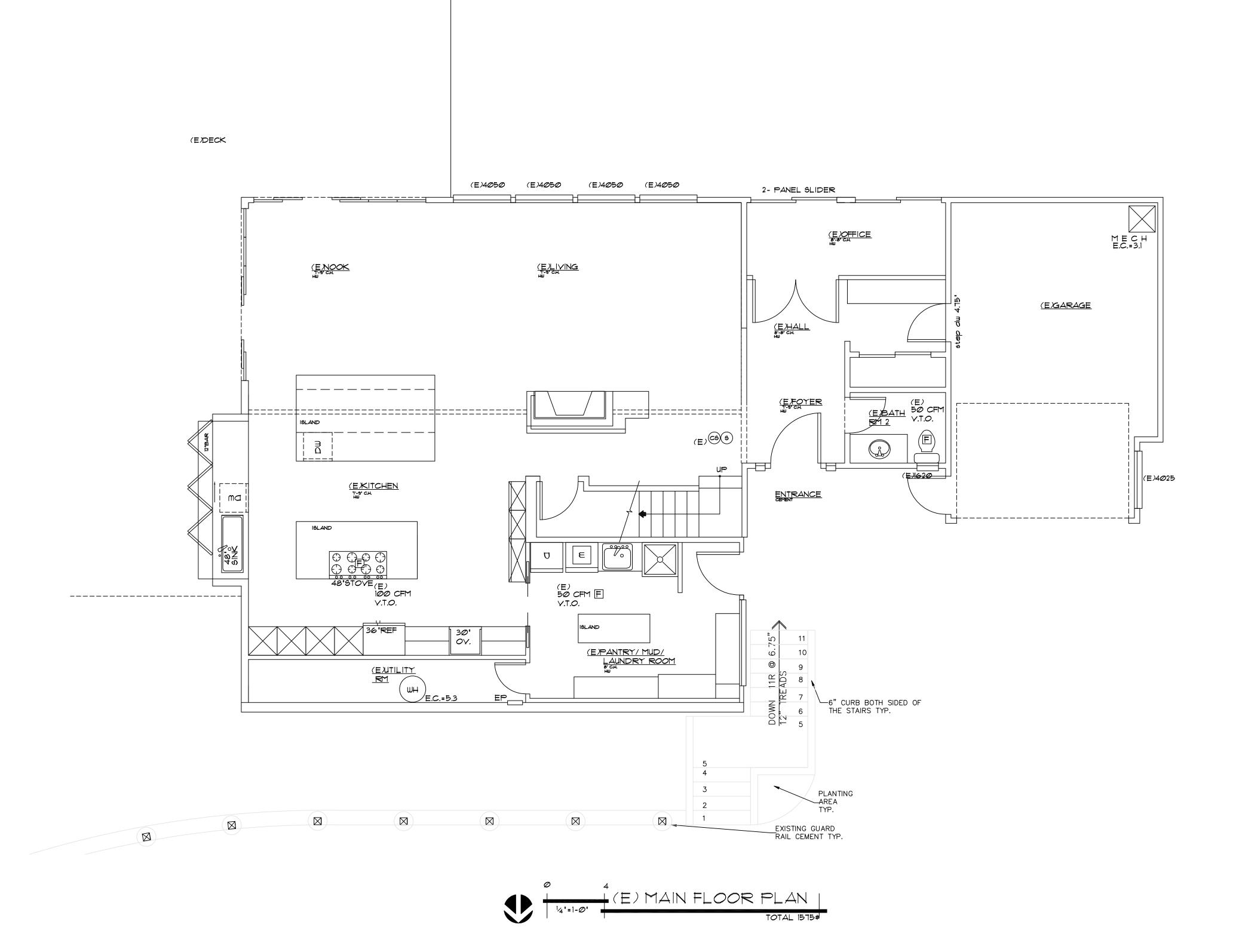
EXISTING WALL _____

DEMO. NOTE

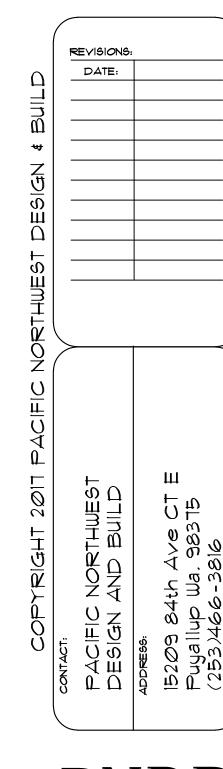
DEMOLITION SCHEDULE

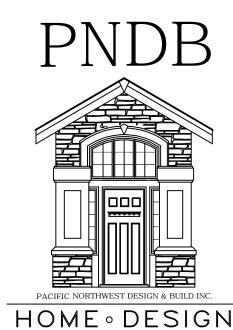
MK REMARKS

NO DEMOLITION HAPPENING IN MAIN FLOOR



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PROJECT NAME:

BUXTON ADDITION

SITE ADDRESS/ OWNER:

8091 Mercer Way

Mercer Island, WA. 98040

EXISTING MAIN FLOOR PLAN

DRAWN BY: BP

DATE: 09/26/2022

9CALE: 1/4"=1"-0"

PROJECT *: A-0194

SHEET NO:

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- FLOOR WITH SMOOTH, LEVEL SURFACE.

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WALL LEGEND

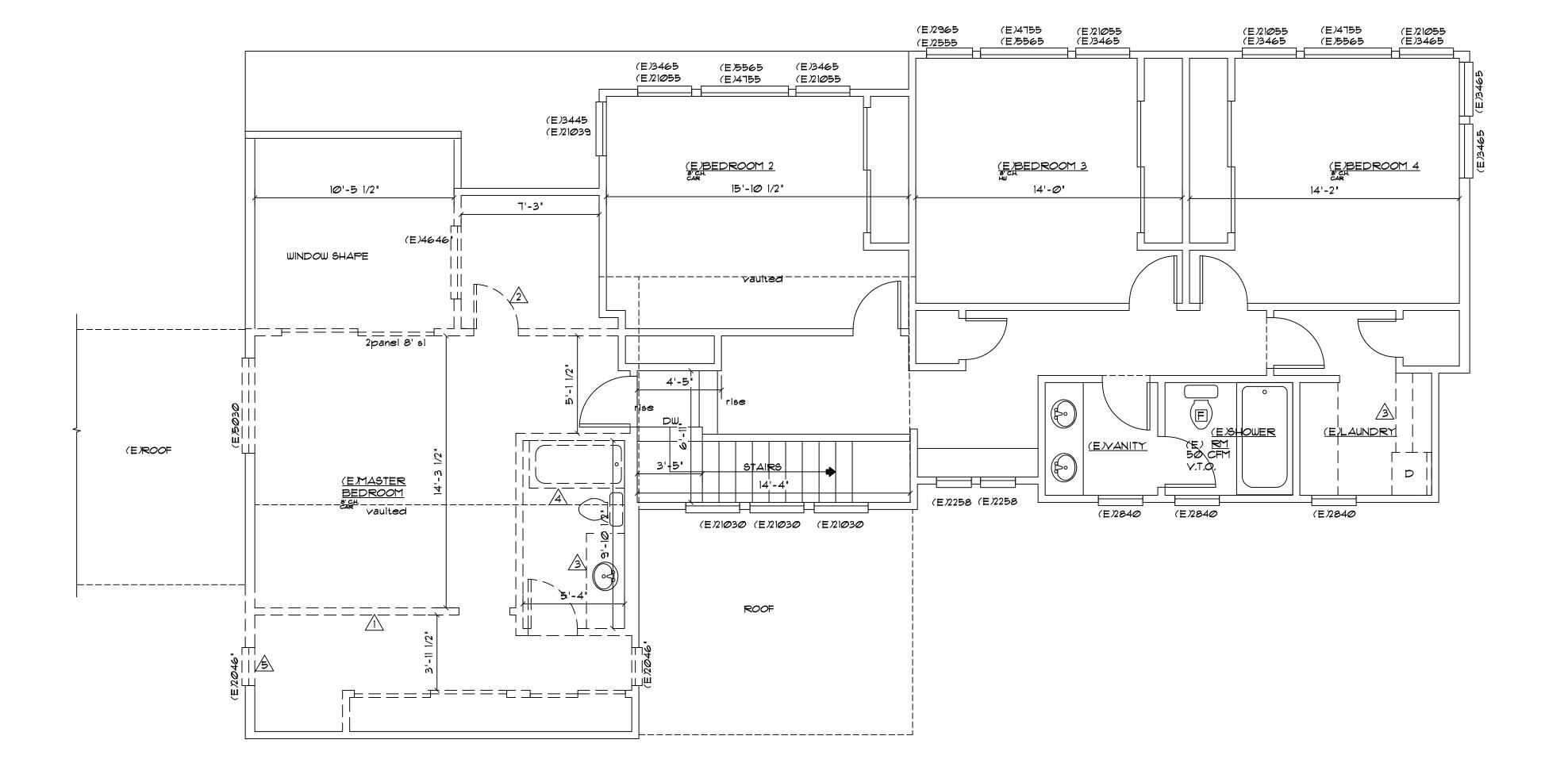
EXISTING WALL _____

DEMO. NOTE

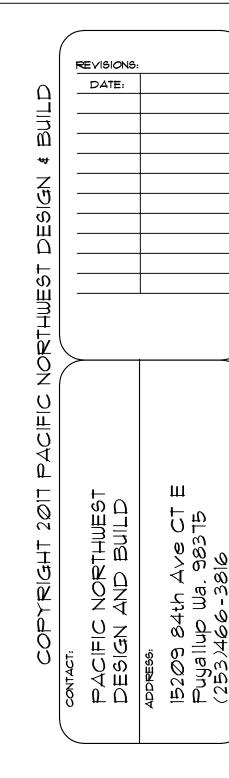
DEMOLITION SCHEDULE

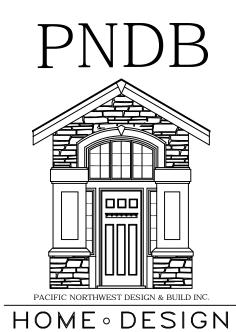
MK	REMARKS
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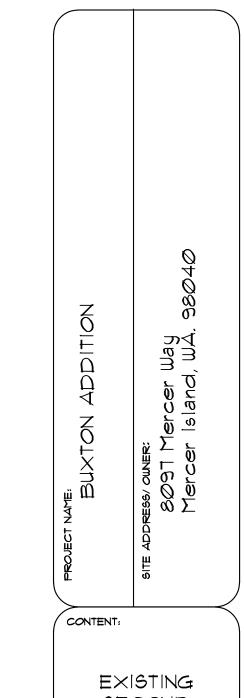
- 1 REMOVAL OF WALL, FILL IN AND REPAIR, WHERE NEEDED
- 2 REMOVAL OF DOOR, FILL IN AND REPAIR WHERE NEEDED
- 3 REMOVAL OF CABINETS & APP., FILL IN AND REPAIR
- 4 REMOVAL OF PLUMBING FIXTURES, FILL IN AND REPAIR
- REMOVAL OF WINDOWS, FILL IN AND REPAIR











EXISTING SECOND FLOOR/ DEMO PLAN

DATE: 09/26/2022

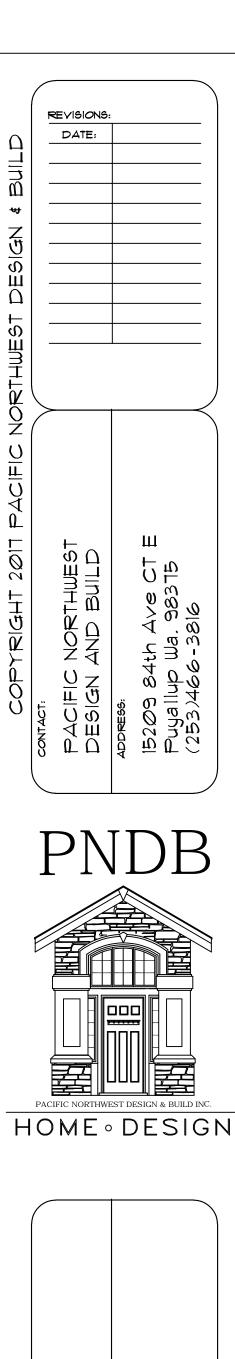
9CALE: 1/4'=1'-0'

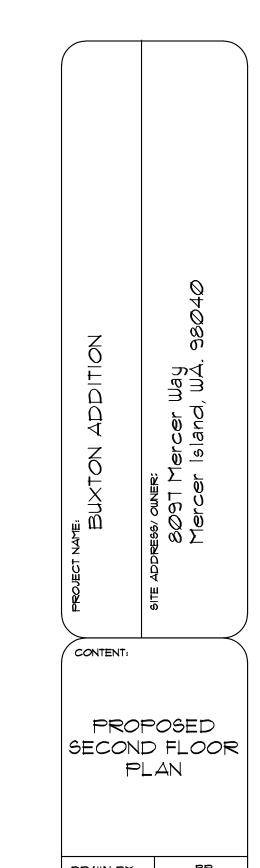
PROJECT *: A-0194

SHEET NO:

A2 = 3

NOTES: FIELD VERIFY, CONTRACTOR TO BE RESPONSIBLE, BEFORE MOVING INTERIOR WALLS. WALL LEGEND EXISTING WALL DEMO. WALL $\square = \square = \square$ WINDOW SCHEDULE A AWNING MK SIZE (W x H INCHES) OP MFR QTY REMARK C CASEMENT $A = 55 \times 24 (4720)$ F FIXED SL SLIDER B 72 × 60 (6050) SL SH SINGLE HUNG DH DOUBLE HUNG TT TILT/TURN C 34 × 65 (21055) C SAFETY GLASS 2 1. ALL WINDOW AND DOOR HEADERS TO BE INSULATED W/ A MINIMUM R-10 PROVIDE SAFETY GLAZING AT ALL UNITS IN ACCORDANCE WITH IRC R308.4WHETHER INDICATED OR NOT SCREENS @ ALL OPERABLE SECTIONS. 3. ALL BASEMENT EGRESS WINDOWS TO HAVE A MAX. SILL HEIGHT OF 44-INCHES. 4. EGRESS PER IRC SEC 310. *4*5-1 (N)DECK $\langle A \rangle$ (E)2965 (E)21055 (E)3465 (E)21055 (E)3465 (E)21055 (E)3465 (E)2555 (E)3465 (E)21Ø55 (E)4755 (E)21055 (E)3465 (E)3465 DOOR SCHEDULE (E)BEDROOM 4 (E)BEDROOM 2 (E)BEDROOM 3 WS = WEATHER STRIP SC = SELF CLOSING MK SIZE (W X H X TH) TYPE HOWR FIN REMARK (NIMASTER SUITE 1 2'-6" × 6'-8" × 1%" PT POCKET DOOR DB = DEAD BOLT PT SD = SOLID CORE 2 2'-4" × 6'-8" × 1%" SG= SAFETY GLASS 1 MFR WS, SLIDER, SG 3 5'-0" × 6'-8" × 1¾" 4 4'-8" × 6'-8" × 13/4" A | 1 | MFR | WS, SG, SLIDER REPLACE EX. WINDOW | 5 4'-8" × 6'-8" × 1³/₄" MFR WS, SG, SLIDER REPLACE EX. WINDOW --¬----- vaulted -----ALL WINDOW AND DOOR HEADERS TO BE INSULATED W/ A MINIMUM R-10 2. NDICATES SPECIFIED DOOR, REFER TO DOOR SCHEDULE ON THIS SHEET. REPLACE OLD WATER HEATER (E)HALLWAY W/ TANKLESS 3 1/2 6'-3 3/4" E.C.- 5.3 131-1 1/4" WD = WOOD GL = GLAZED <u>(E)HALLWAY</u> (N)BATH FG = FIBERGLASS (E)F) 50 CFM V.T.Q. (E)SHOWER |1 (E) F 50 CFM (E)ROOF (E)VANITY STAIRS (E)258 (E)258 (E)284Ø (E)284Ø 9'-2 1/4" (N) <u>HIS</u> CLOSET





09/26/2022

PROJECT *:

GENERAL FRAMING NOTES:

PROVIDE SOLID BLOCKING AT BEARING & MIDSPAN (8'-0" MAXIMUM SPACING) AT ALL FLOOR JOISTS AND ROOF RAFTERS.

ALL WOOD IN CONTACT WITH CONCRETE OR SOILS SHALL BE PRESSURE TREATED.
BEAMS ENTERING CONCRETE SHALL HAVE MIN. AIR SPACE ON TOPS, SIDES AND ENDS.
PLACE ON 30* BUILDING PAPER OR APPROVED SST-BASE.

R317.3 FASTENERS AND CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL.

WALL LESS THAN 5' TO A PROPERTY LINE MUST BE 1-HOUR PROJECTIONS GREATER THAN 2' FEET TO LESS THAN 5' FROM PROPERTY LINE MUST HAVE 1-HOUR FIRE-PREDICTIVE CONSTRUCTION ON THE UNDERSIDE OF FIRE BLOCKED FROM WALL PLATE TO UNDERSIDE OF ROOF SHEATHING WITH NO VENT OPENINGS.

ROOF VENTILATION:

IRC R806.2
THE NOT LESS THAN 1/300 PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO VENTILATED AT LEAST 3' ABOVE EAVE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE VENTS.

R 301.1 APPLICATION.

BUILDINGS AND STRUCTURES, AND PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, WIND LOADS AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE. THE CONSTRUCTION OF BUILDINGS AND STRUCTURES IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE SHALL RESULTS IN A SYSTEM THAT PROVIDES A COMPLETE LOAD PATH THAT MEETS ALL REQUIREMENTS FOR THE TRANSFER OF ALL LOADS FROM THEIR POINT OF ORIGIN THROUGH THE LOAD-RESISTING ELEMENTS TO THE FOUNDATION.

LEGEND

(E) WEST ROOF

B MIDDLE ROOF

(C) (E) EAST ROOF

ROOF CALCULATIONS

TOTAL ROOF ATTIC

1827 SQ. FT. ATTIC AREA/ 300 = 6.09 SQ. FT.

OF VENTILATION REQUIRED (8715Q INCHES)

EXISTING MAIN ROOF VENTING:

PROVIDED BY CONTINUES VENTING

INCLUDING BIRD BLOCKING

WEST ROOF VENTING:

668 SQ. ET. ATTIC AREA/ 300 = 222 SQ. ET.

668 SQ. FT. ATTIC AREA/300 = 2.22 SQ. FT. OF VENTILATION REQUIRED (320 SQ INCHES)

PROVIDED BY CONTINUOUS SOFFIT VENTS INSTALL PER MANU. SPEC.

MIDDLE ROOF VENTING: 490 SQ. FT. ATTIC AREA/ 300 = 1.6 SQ. FT. OF VENTILATION REQUIRED (230 SQ INCHES)

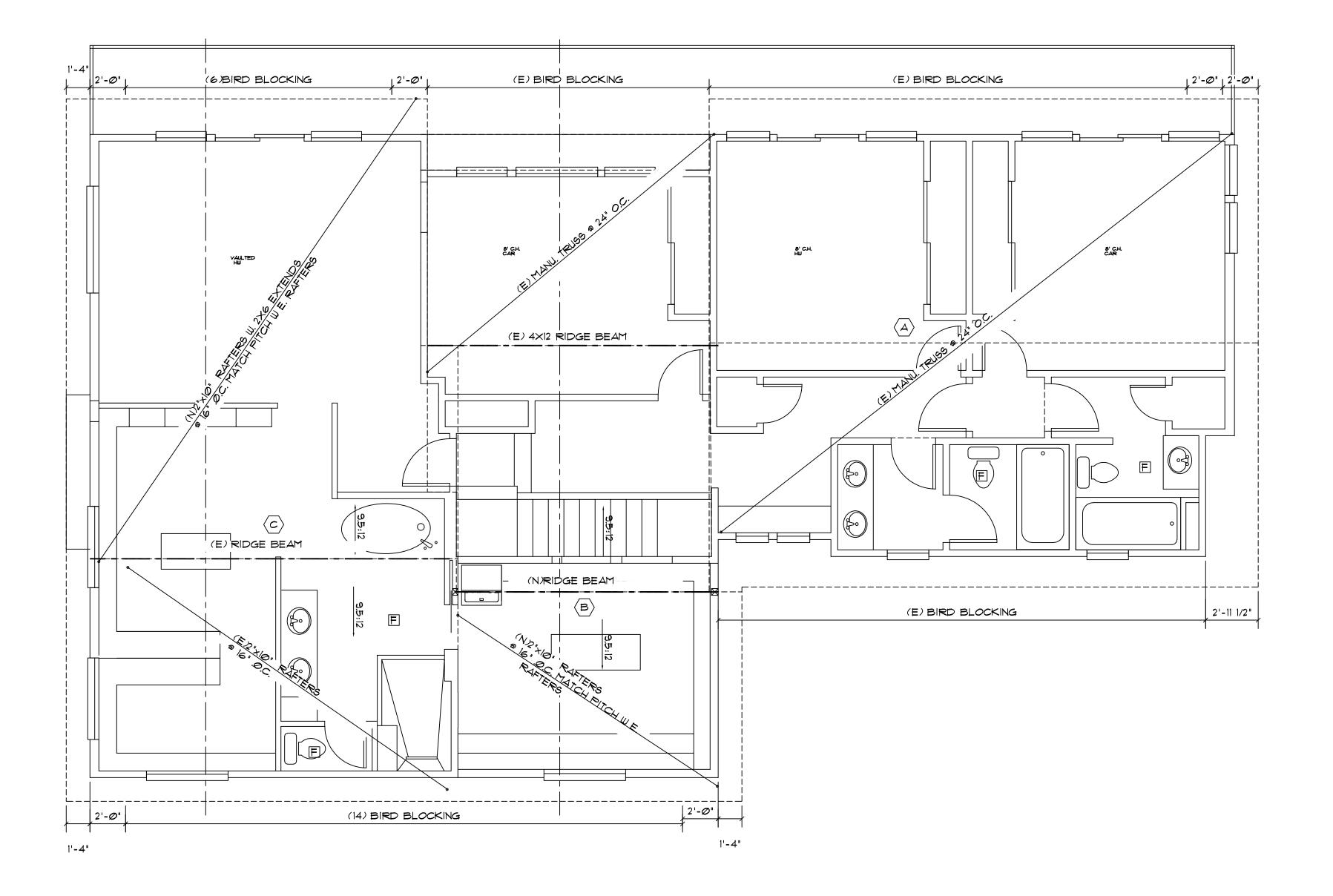
PROVIDED BY CONTINUOUS SOFFIT VENTS

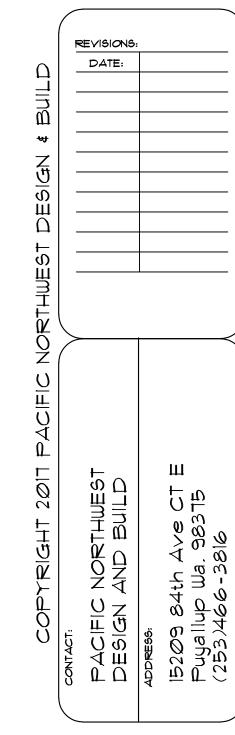
EAST ROOF VENTING:

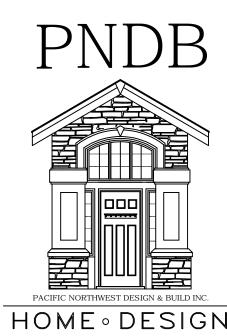
INSTALL PER MANU. SPEC.

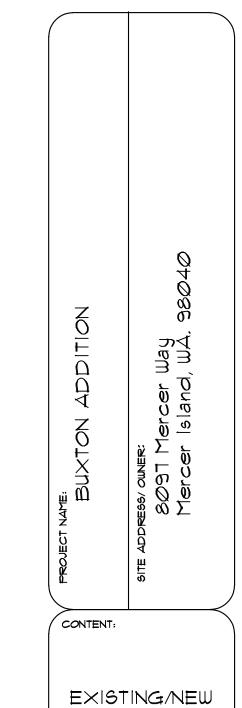
636 SQ. FT. ATTIC AREA/300 = 2.12 SQ. FT.
OF VENTILATION REQUIRED (305 SQ INCHES)

PROVIDED BY CONTINUOUS SOFFIT VENTS INSTALL PER MANU. SPEC.









DRAWN BY: BP

DATE: 09/26/2022

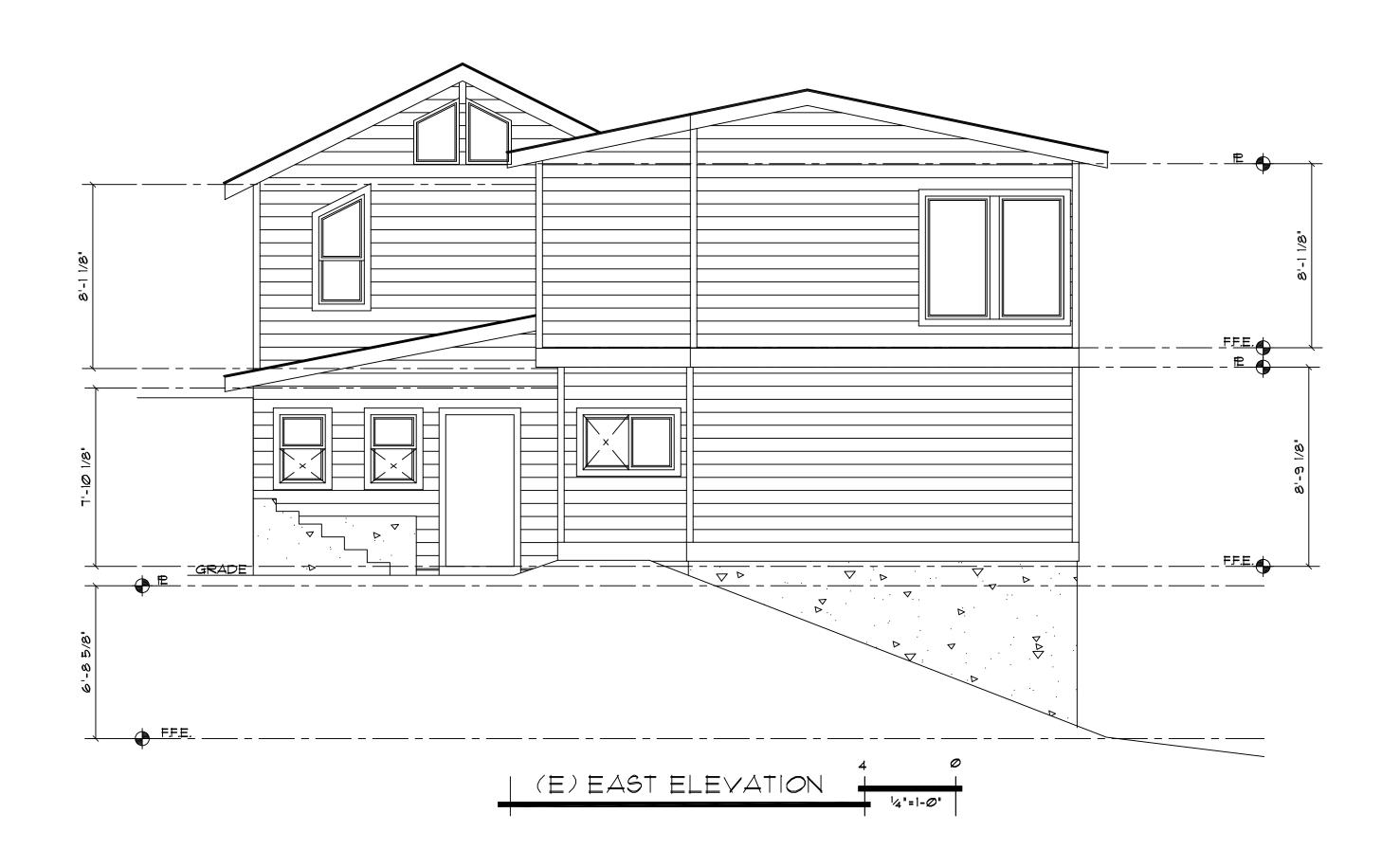
9CALE: 1/4'=1'-0'

PROJECT *: A-0194

ROOF

SHEET NO:





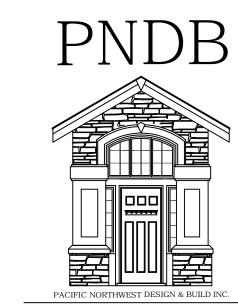
MAIN ENTRANCE DOOR TO HAVE A DOOR VIEWER WINDOW OR SIDELIGHT. SIDELIGHTS OR WINDOWS WITHIN 36" OF A LOCKING DOOR MUST BE SAFETY GLASS OR WIRED GLASS ALL EXTERIOR OR ENTRANCE DOORS

REQUIRE: SOLID BLOCKING AT LOCK HEIGHT ON BOTH SIDES OF DOOR FOR TWO STUD SPACES (EXCEPT WHERE SIDELIGHTS OCCUR) DEAD BOLT LOCKS WITH 1" THROW HINGES WITH 3" SCREWS INTO SOLID BLOCKING STRIKER PLATES TO BE FASTED WITH 3" SCREWS INTO SOLID BLOCKING.

ALL JOINTS IN VAPOR BARRIER TO BE LAPPED 4" AND OCCUR OVER FRAMING MEMBERS OR SEALED WITH CAULKING ALL HOLES THROUGH VAPOUR BARRIER FOR WIRES ELECTRICAL BOXES, PIPING, DUCTS, ETC. SHALL BE SEALED SILL PLATES TO BE PRESSURED TREATED OR SEPARETED BY DAMPROOFING MATERIAL

CERAMICS AND PLASTIC TILE IS INSTALLED GUTTERS AND DOWNSPOUTS ARE REQUIRED ALL ROOF AND YARD DRAINS SHALL BE DIRECTED TO SPLASH BLOCKS AT A MINIMUM, OR TO AN INFILTRATION SYSTEM IF REQUIRED. () ALL SURFACE DRAINAGE SHALL HAVE A MINIMUM 2% GRADE AWAY FROM THE FOUNDATION.

REVISIONS: DATE: MOISTURE RESISTANT BACKING IS REQUIRED AROUND BATHTUBS OR SHOWER WHERE

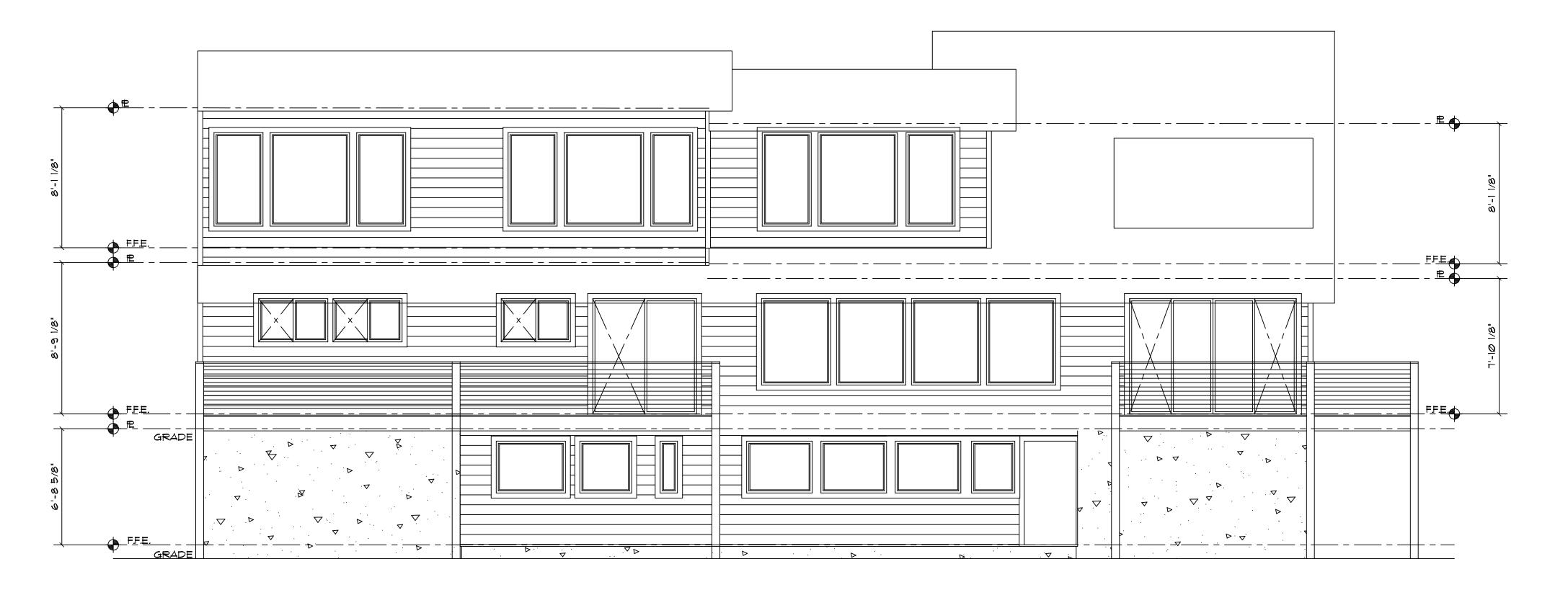


HOME · DESIGN

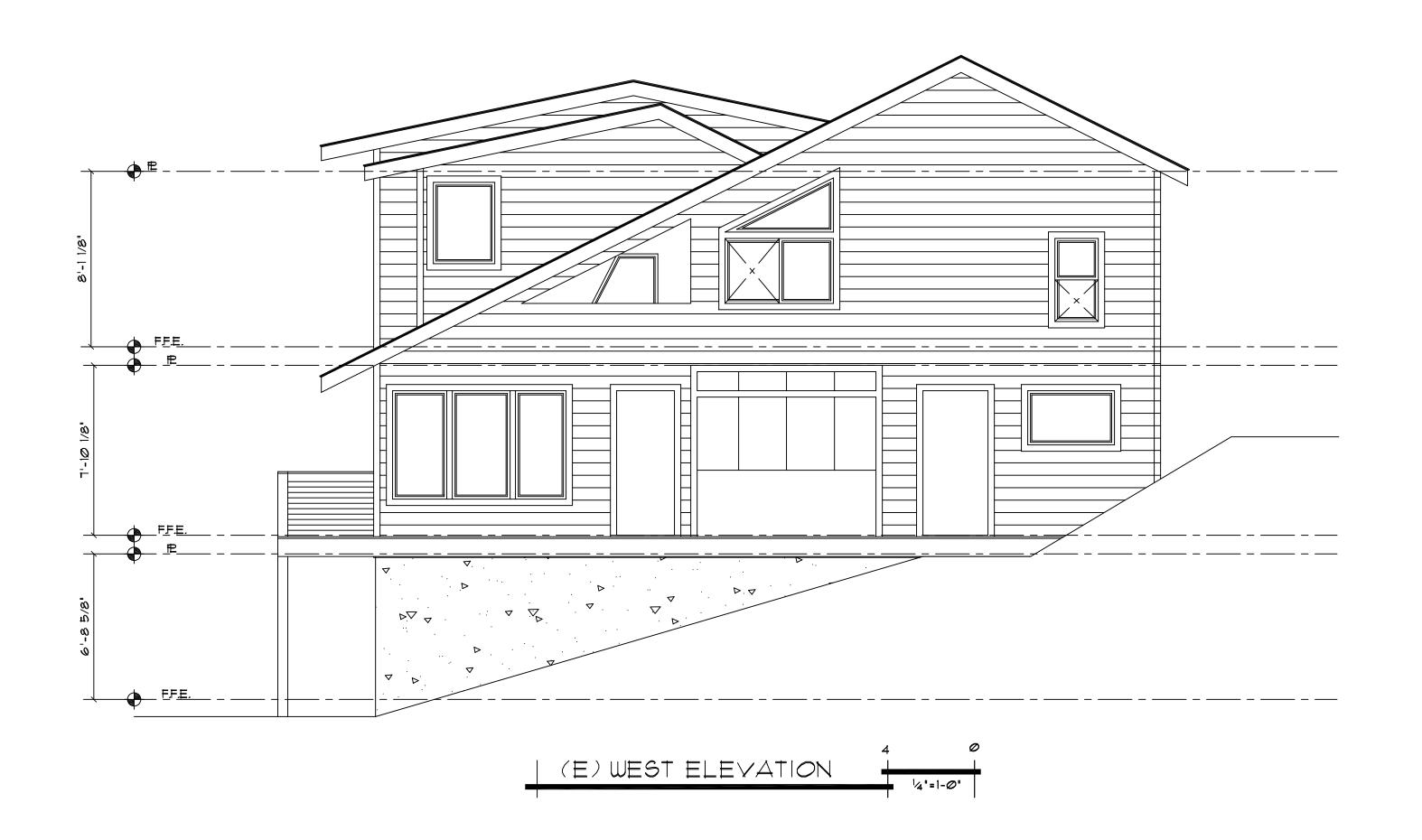
NAME: BUXTON ADDITION	ress, owner: 8097 Mercer Way Mercer Island, WA. 98040
PROJECT NAME:	SITE ADDRESS/ OUNER: 8091 Y Mercer

(E) ELEVATIONS

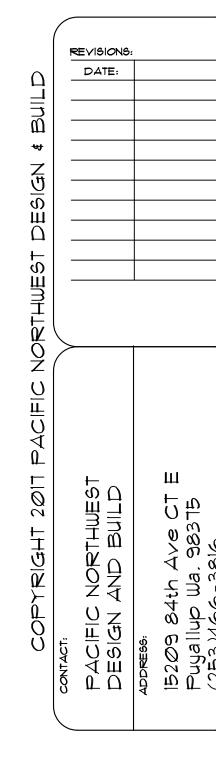
09/26/2022 1/4"=1'-@" PROJECT *: SHEET NO:

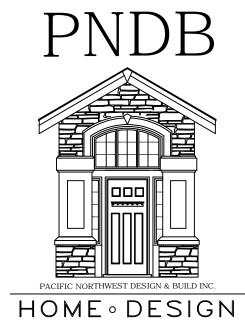






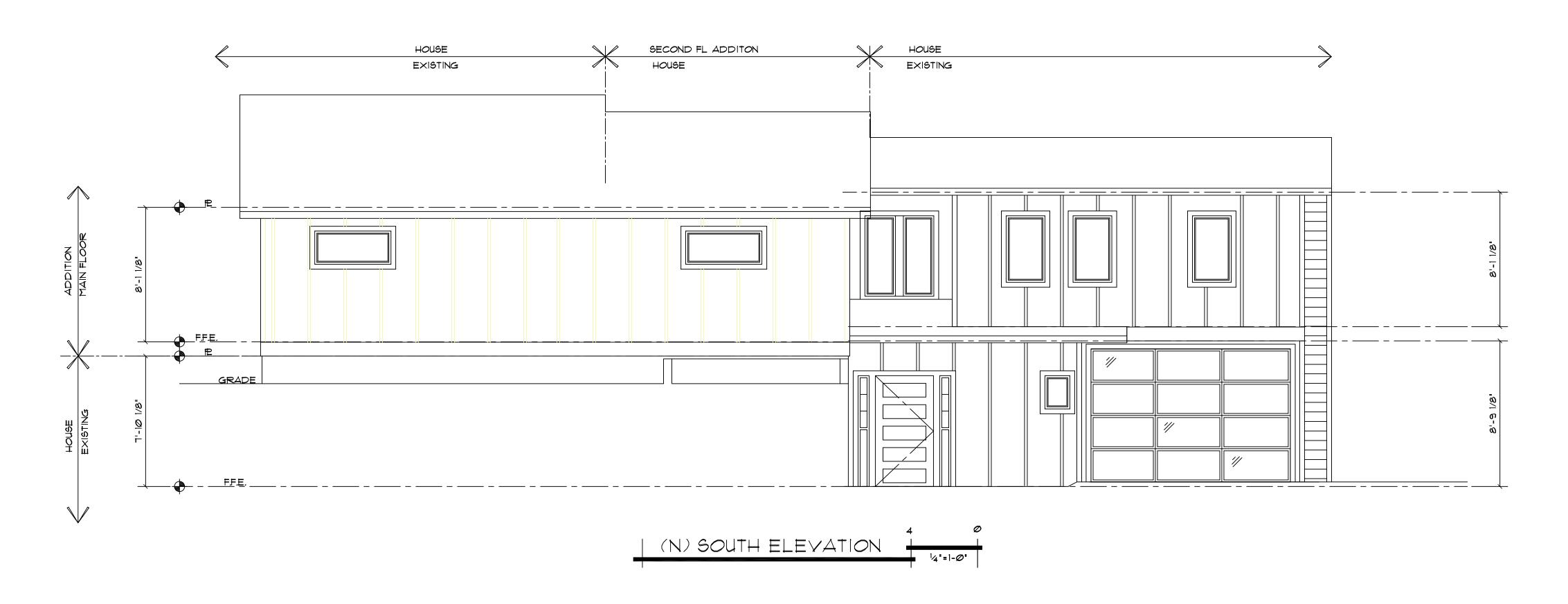
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THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD

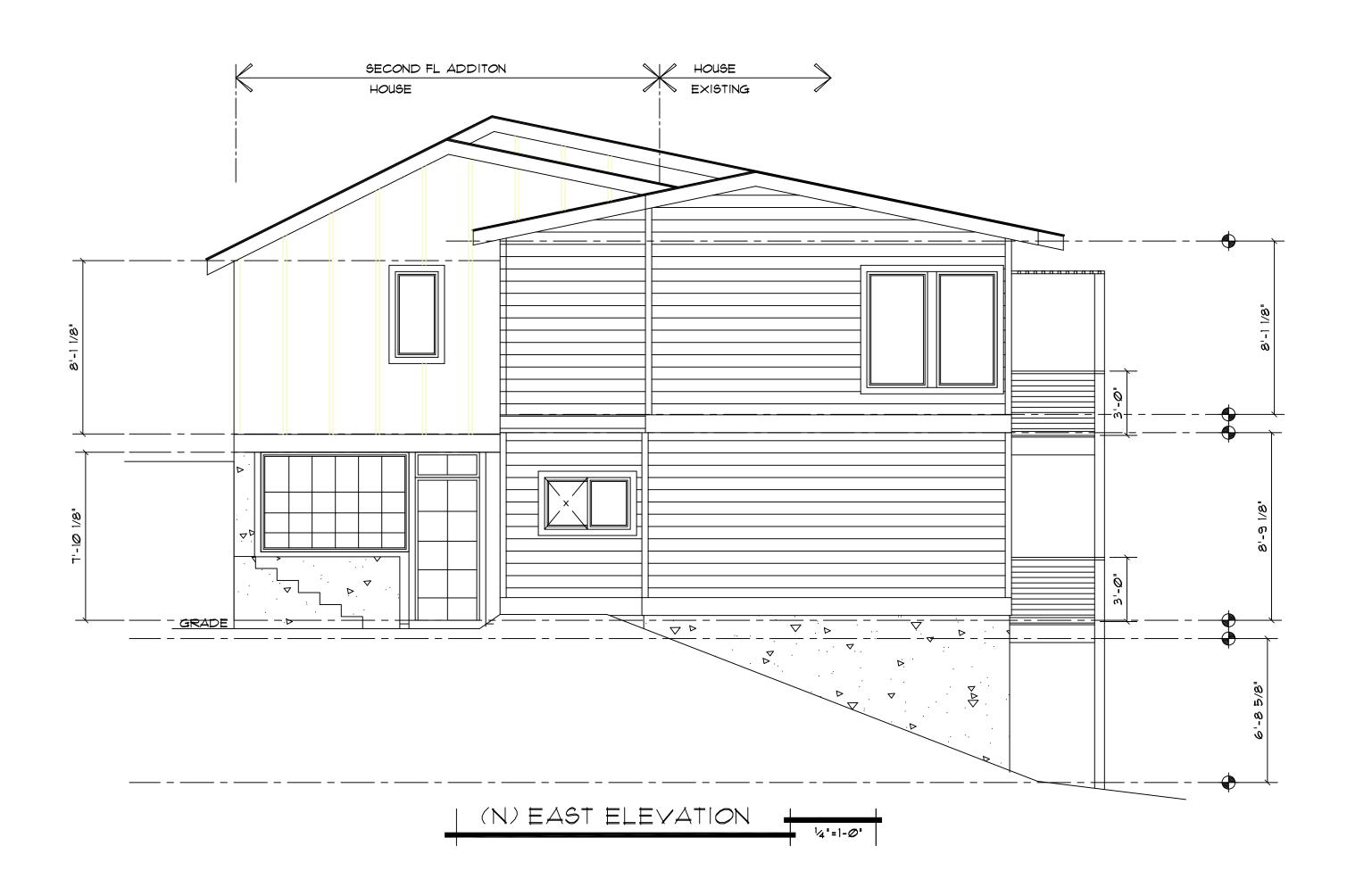




PROJECT NAME: BUXTON ADDITION	site address, owner: 8097 Mercer Way Mercer Island, WA, 98040

(E) ELEVATIONS





NOTE:
MAIN ENTRANCE DOOR TO HAVE A DOOR
VIEWER WINDOW OR SIDELIGHT.
SIDELIGHTS OR WINDOWS WITHIN 36" OF A
LOCKING DOOR MUST BE SAFETY GLASS OR ()
WIRED GLASS
ALL EXTERIOR OR ENTRANCE DOORS
REQUIRE:
SOLID BLOCKING AT LOCK HEIGHT ON BOTH
SIDES OF DOOR FOR TWO STUD SPACES
(EXCEPT WHERE SIDELIGHTS OCCUR)

DEAD BOLT LOCKS WITH 1" THROW HINGES WITH 3" SCREWS INTO SOLID BLOCKING STRIKER PLATES TO BE FASTED WITH 3"

ALL JOINTS IN VAPOR BARRIER TO BE
LAPPED 4" AND OCCUR OVER FRAMING.
MEMBERS OR SEALED WITH CAULKING.
ALL HOLES THROUGH VAPOUR BARRIER FOR TWIRES ELECTRICAL BOXES, PIPING, DUCTS, ETC. SHALL BE SEALED
SILL PLATES TO BE PRESSURED TREATED

SCREWS INTO SOLID BLOCKING.

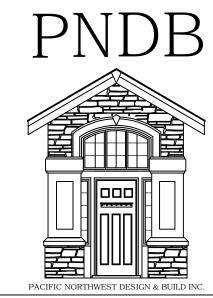
SILL PLATES TO BE PRESSURED TREATED OR SEPARETED BY DAMPROOFING MATERIALZ MOISTURE RESISTANT BACKING IS REQUIRED AROUND BATHTUBS OR SHOWER WHERE CERAMICS AND PLASTIC TILE IS INSTALLED ##

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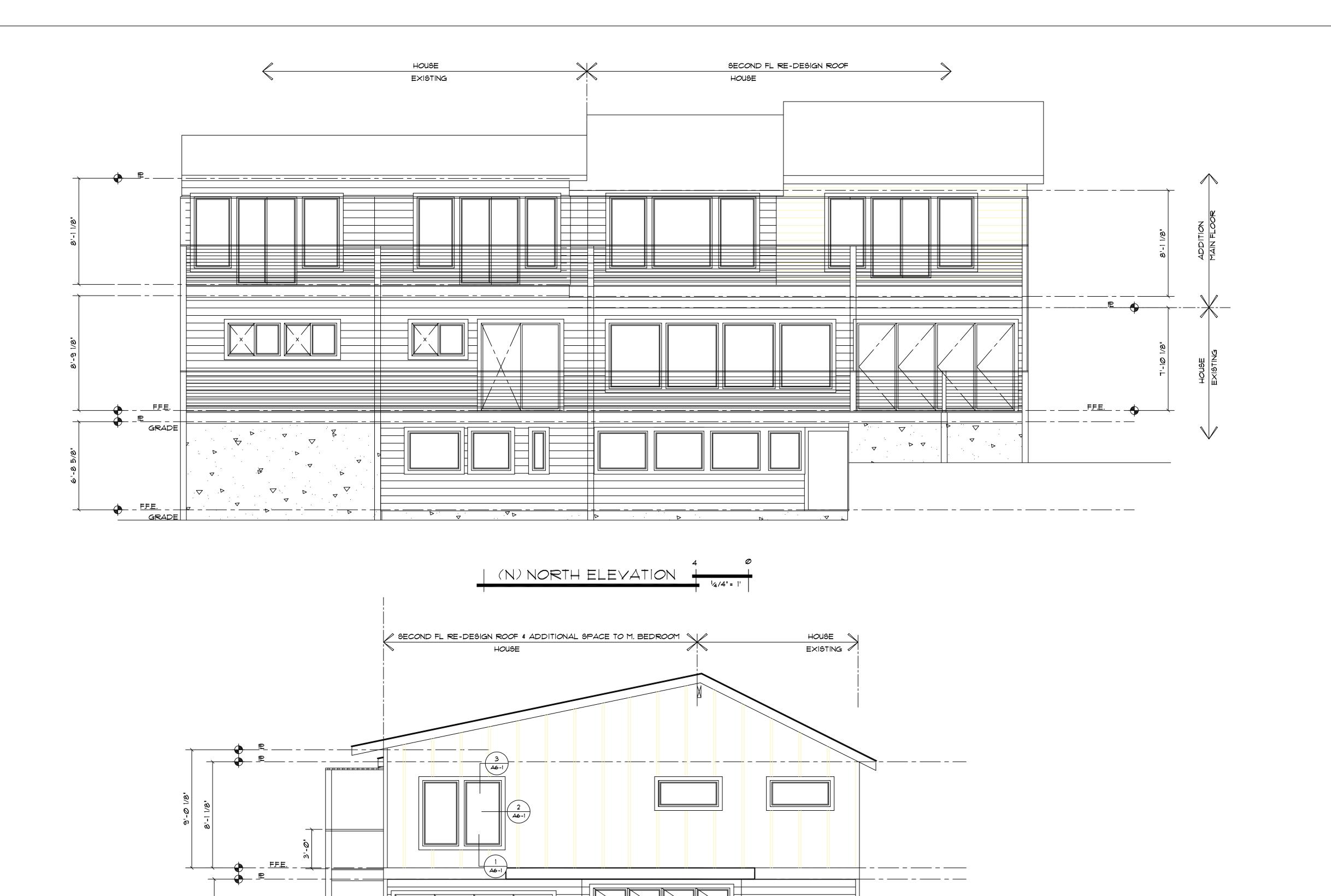
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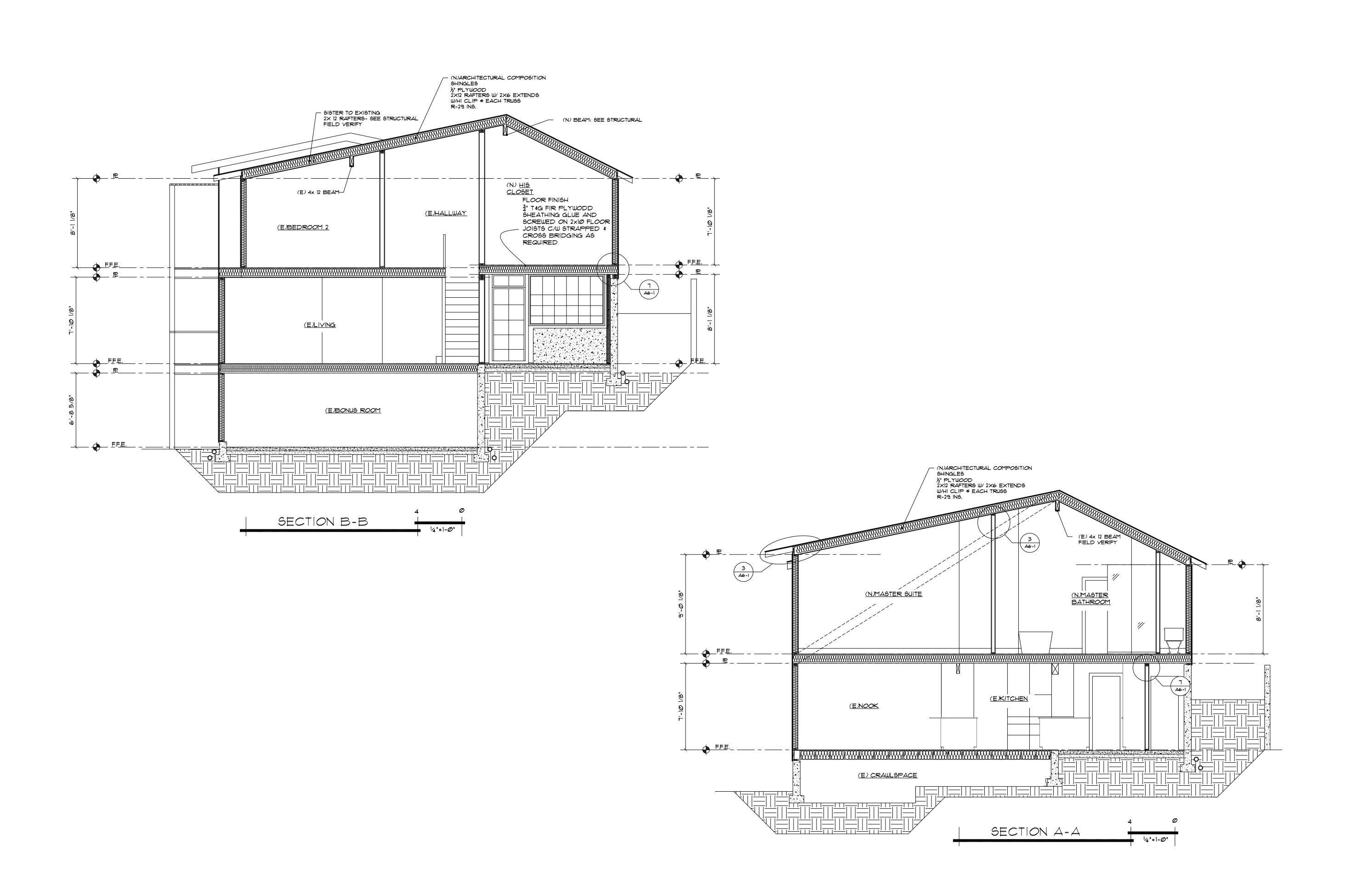


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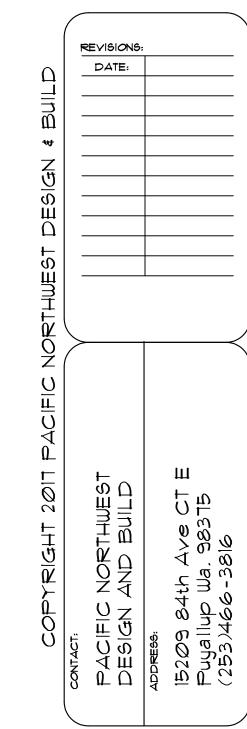


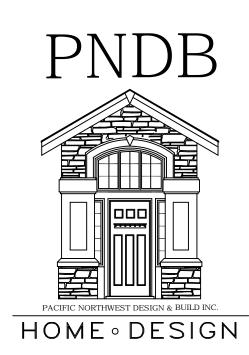
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ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK, REUSE OF DOCUMENTS UNAUTHORIZED ALTERATION OF ANY OF THE INFORMATION ON THIS DOCUMENT WILL INVALIDATE THE DOCUMENT.
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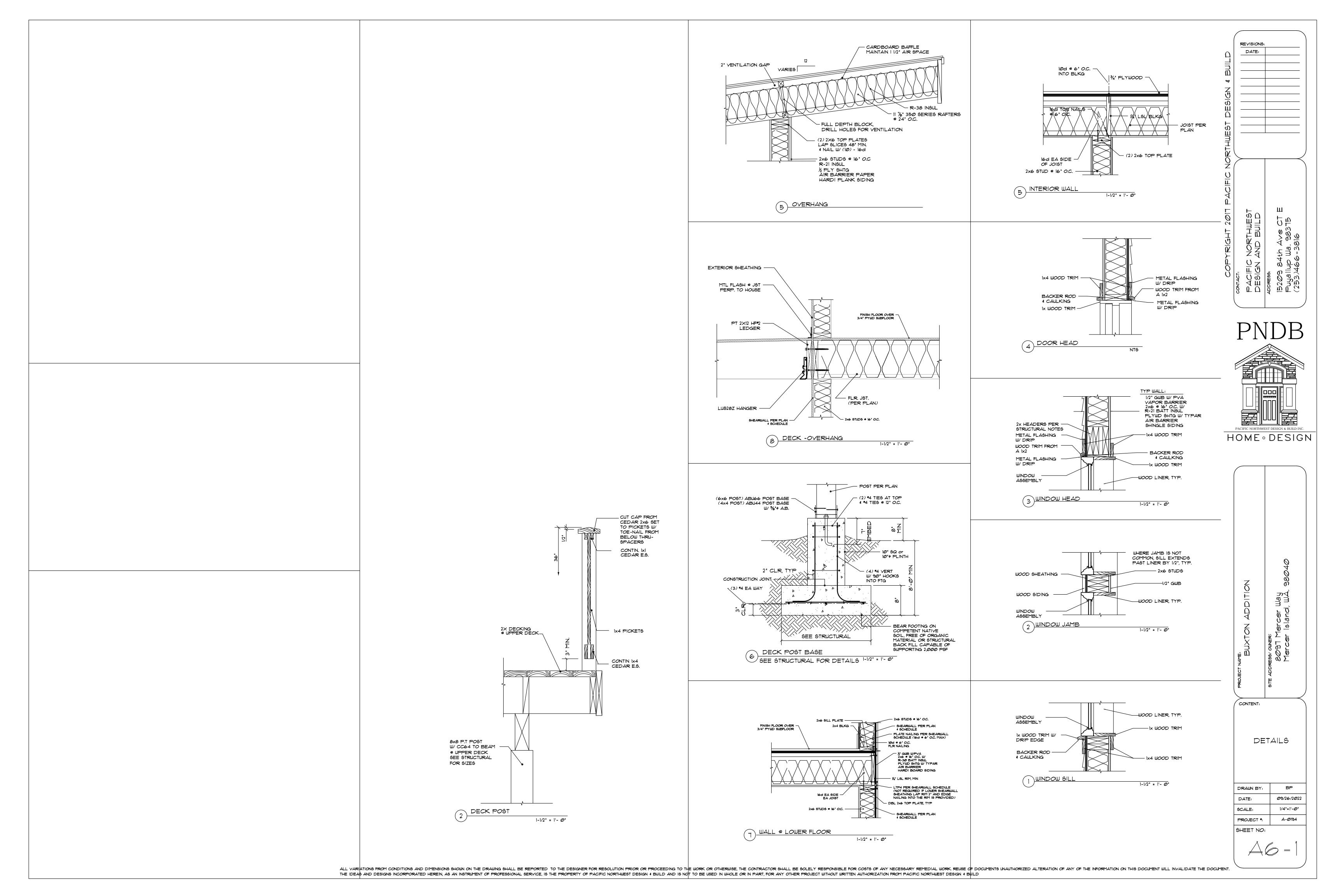




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NEW



ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.

IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO ENSURE THAT CHANGES TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM THE LOCAL BUILDING CODES AND BY LAWS WHICH MAY TAKE PRECEDENCE, AND ALL OTHER PERTINENT LAWS AND ORDINANCES.

PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS, AND SPECIFICATIONS OF THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.

ANY VARIANCE FORM STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY.

ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BY LAWS WHICH MAY TAKE PRECEDENCE.

CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIAL OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.

IN THE EVENT OF A CONFLICT APPLICABLE CODES AND REGULATIONS AND REFERENCE STANDARDS OF THE PLANS AND SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.

CONCRETE AND FOUNDATIONS

ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ WEATHER EXPOSED AND SLABS AT 28 DAYS.

CONCRETE FOOTING MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION. FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR SOIL BEARING CAPACITY OF 3,000 PSI. IF LESSER BEARING CAPACITY IS ENCOUNTERED, PROVIDED SOIL TEST FOR HIGHER VALUES, IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PERSONS TO SUIT EXISTING CONDITIONS.

FOUNDATION WALL SHOULD NOT BE BACKFILLED UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIED 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB-FLOOR) REQUIRED TO STABILIZE THE WALLS, IS COMPLETE AND FULLY NAILED AND ANCHORED.

ALL FOUNDATION WALLS 24" AND HIGHER SHOULD HAVE ONE HORIZONTAL $\frac{1}{2}$ ' REINFORCING BAR 3" FROM THE TOP. CORNER REINFORCING TO BE LAPPED MINIMUM 24".

ALL FOOTINGS ARE TO HAVE TWO 1 REINFORCING BARS. THE REINFORCING BARS ARE TO BE SITUATED SUCH THAT ONE BAR IS 3" CLEAR OF THE SIDE AND BOTTOM OF THE FOOTING ON BOTH SIDES OF THE FOOTING.

GRADES SHOWN ON THE ELEVATIONS ARE ESTIMATED. ADJUST ON SITE AS REQUIRED. RETAINING WALLS OTHER THAN THE FOUNDATION WALLS OF THE RESIDENCE, ARE BEYOND THE SCOPE OF THESE DRAWINGS UNLESS OTHERWISE

ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHTS LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.

PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED BY THE LOCAL AUTHORITIES. REQUIRED FOR BUILDING WITH USABLE SPACE BELOW GRADE.

ELECTRICAL

INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH LOCAL ELECTRICAL CODES AND REGULATIONS IN ALL RESPECTS.

OUTLET LOCATIONS SHOWN ON PLANS SHALL COMPLY WITH OR EXCEED CURRENT BUILDING CODE WITH MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY, ADJUST ACCORDINGLY TO OWNER'S AND OR LOCAL AUTHORITY'S REQUIREMENTS.

PLUMBING

INSTALLATION OF PLUMBING ITEMS MUST COMPLY WITH LOCAL ELECTRICAL CODES AND REGULATIONS IN ALL RESPECTS.

FIXTURE LOCATIONS SHOWN ON PLANS WILL COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDINGLY TO OWNER'S AND OR LOCAL AUTHORITY'S REQUIREMENTS.

INSULATION

FLAT CEILING FLAT CEILING - ADVANCE FRAMING YAULTED CEILING - SINGLE RAFTER/JOIST R-38 WALL ABOVE GRADE - STUDS 16" O.C. R-21 HEADERS R-10 WALL BELOW GRADE R-10/15-21 int+TB MASS WALL R-VALUE R-21 FLOOR OVER CRAWL SPACE R-38 SLAB ON GRADE R-10

INSULATION TO BE INSTALLED WITH VAPOR BARRIER ON INTERIOR FACE.

IT MAY BE NECESSARY TO INCREASE THE DEPTH OF FRAMING MEMBERS GREATER THAN SHOWN ON THE DRAWINGS TO ACCOMMODATE THICKER INSULATION MATERIALS AS MY BE REQUIRED BY LOCAL CODES AND CONVENTIONS.

CAULKING IS TO BE APPLIED AT ALL EXTERIOR SILLS AND PLATES AND ALL EXTERIOR ENVELOPE PENETRATIONS (BETWEEN WINDOW OR DOOR FRAMES AND ROUGH-OPENINGS).

WOOD FRAMING

DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO OUTSIDE FACE OF WALLS UNLESS OTHERWISE NOTED, FACE OF EXTERIOR WALL AND FOUNDATION WALL TO BE FLUSH.

JOISTS SHALL BE PLACED TO ACCOMMODATE HEATING AND PLUMBING, ETC.

OWNER/BUILDER TO OBTAIN CERTIFICATES FROM MANUFACTURER OF FLOOR TRUSSES, ROOF TRUSSES AND GLULAM BEAMS.

FLOOR AND ROOF JOISTS SPANS OF MORE THAN 1FT. SHALL BE BRIDGED AT MID-SPAN OR AT 1 FT. O.C. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD, BRIDGING SHALL BE A 2X2 DIAGONAL TYPE WHEREVER

WOOD IN CONTACT WITH CONCRETE SHALL BE DAMP-PROOFED WITH 4516, FELT. A SILL PLATE GASKET AND PRESSURE TREATED WITH A WATERBORNE PRESERVATIVE OR OTHER APPROVED METHOD. STAINLESS STEEL HARDWARE AND FASTER OR OTHER CODE COMPLYING PRODUCT.

ALL FRAME WALLS SHALL HAVE STUD FRAMING PLACED @ 16" O.C. EXCEPT WHERE OTHERWISE NOTED.

TOP PLATES SHALL BE DOUBLED ON ALL WALLS EXCEPT WHERE OTHERWISE NOTED. MINIMUM LAP WITH ALL CORNERS AND INTERSECTIONS LAPPED.

CRIPPLES UNDER HEADERS SHALL BE CONTINUOUS TO SILL PLATE.

DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOISTS EXCEPT WHERE OTHERWISE NOTED.

BLOCK ALL STUD WALLS ARE WHERE REQUIRED FOR SHEATHING.

SOLID BLOCKING BETWEEN ALL JOISTS AND RAFTERS AT SUPPORTING WALLS AND BEAMS EXCEPT AT RIM JOISTS, AND ALL SUPPORTS FOR I-JOIST IN D-2

DOUBLE RIM JOISTS AT ALL WALLS PARALLEL TO JOISTS.

BEAMS, GIRDERS AND JOISTS SUPPORTING BEARING WALLS OR CONCENTRATED LOADS SHALL NOT BE NOTCHED.

ALL RAFTERS SHALL BE NOTCHED TO PROVIDE FULL BEARING AT SUPPORTS.

AL JOISTS SHALL HAVE A MINIMUM OF 2" BEARING AT SUPPORTS. LAP ALL JOISTS 6" MINIMUM OF 2" BEARING AT SUPPORTS

MUD SILLS AND LEDGER BOARDS AT CONCRETE WALLS SHALL HAVE ANCHOR BOLTS (}" MIN 4') OF THE SIZE AND SPACING SHOWN ON THE DRAWINGS, EACH BOARD SHALL BE SECURED WITH AT LEAST TWO BOLTS AND EACH BOARD SHALL HAVE A BOLT WITHIN 12" OF EACH END.

ALL SOLID SAWN LUMBER SHALL BE DOUGLAS FIR/ LARCH INSTALLED AS NOTED ON THE PLANS. SOLID SAWN LUMBER AT VISUALLY EXPOSED LOCATIONS SHALL BE "CLEAR" GRADE, FREE OF HEART. LUMBER SHALL BE AS GRADED IN ACCORDANCE WITH CURRENT WESTERN

WOOD PRODUCTS. LUMBER GRADES FOR USES TO BE:

B. Sills, Plates & Blocking... DF "stud" C. Studs... D. 2" T& G Sub-Floor Decking... E. Wall & Roof Sheating...1/2" C-D Ext. Glue Plywood (32/16) F. Sub-Floor over Joists....3/4" C-d Ext. Glue Plywood (32/16)1/2" Underlayment Grade paricle board G. Underlayment.....

MISCELLANEOUS

FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALLS.

FLASH OVER ALL EXTERIOR OPENINGS.

ALL SIDING TO BE A MINIMUM OF 8" ABOVE FINISHED GRADE.

COAT AND CLOTHES CLOSETS SHALL HAVE AT LEAST ONE ROD AND SHELF WITH MINIMUM DEPTHS OF 24" UNLESS OTHERWISE STATED ON PLANS, LINEN CLOSET SHALL HAVE 5 ADJUSTABLE SHELVES WHEREVER POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.

CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY CONNECTED TOGETHER.

PLUMBING DIAGRAMS IS REQUESTED BY LOCAL AUTHORITIES SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.

HEATING/COOLING DUCT DIAGRAMS OR DRAWINGS IF REQUESTED BY LOCAL AUTHORITIES, SHALL BE PROVIDED BY A HEATING/COOLING CONTRACTOR.

HEAT LOSE OR ENERGY USE CALCULATIONS SHALL BE PROVIDED BY HEATING/COOLING CONTRACTOR OR OTHER PROFESSIONAL AS REQUIRED BY BUILDING OFFICIAL.

TRUSS DESIGN, SHALL BE PROVIDED BY TRUSS MANUFACTURE.

SMOKE DETECTORS SHALL BE CONNECTED TO HOUSE POWER.

TUB AND TUB SHOWER ENCLOSURES TO HAVE 1" WATER RESISTANT GYPSUM BOARD AND A HARD, MOISTURE RESISTANCE SURFACE UP TO 6'0" ABOVE FLOOR (MIN).

PROVIDE I HOUR FIRE WALL BETWEEN GARAGE AND LIVING AREAS AND UNDER ALL STAIRS, WHERE STORAGE SPACE IS AVAILABLE.

ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE I HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE WOOD DOORS OR CODE APPROVED EQUIVALENT AND SELF-CLOSING.

ALL EXHAUST FANS (50 CFM MIN.), RANGE HOODS (100 CFM) AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUSTS. CAULK AROUND

INSULATION AND MOISTURE PROTECTION

R302.10 FLAME SPREAD INDEX AND SMOKE - DEVELOPED INDEX FOR INSULATION FLAME SPREAD AND SMOKE - DEVELOPED INDEX FOR INSULATION SHALL BE IN ACCORDANCE WITH SECTIONS R302.10.1 THROUGH R302.10.5. R302.10.1 INSULATION

INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPO - PERMEABLE MEMBERS INSTALLED WITHIN FLOOR - CEILING ASSEMBLIES, ROOF - CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES, AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPLISHING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHERE TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723. EXCEPTIONS:

- 1. WHERE SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES. THE FLAME SPREAD INDEX AND SMOKE - DEVELOPED INDEX LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING FLOOR OR WALL FINISH. CELLULOSE FIBER LOOSE-FILL INSULATION, THAT IS NOT SPRAY APPLIED, COMPLYING SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 WHERE TESTED
- IN ACCORDANCE WITH CAN/ULC 51022. 3. FOAM PLASTIC INSULATION SHALL COMPLY WITH SECTION R316.

R302.10.2 LOOSE-FILL INSULATION

R3Ø2.1Ø.3.

LOOSE-FILL INSULATION MATERIALS THAT CANNOT BE MOUNTED IN THE ASTM 84 OR UL 723 APPARATUS WITH OUT A SCREEN OR ARTIFICIAL SUPPORTS SHALL COMPLY WITH THE FLAME SPREAD AND SMOKE-DEVELOPED LIMITS OF SECTION R302.10.3 WHERE TESTED IN ACCORDANCE WITH CAN/ULC 51022. EXCEPTION: CELLULOSIC FIBER LOSE-FILL INSULATION SHALL NOT BE REQUIRED TO BE TESTED IN ACCORDANCE WITH CAN /ULC 91022 PROVIDED SUCH INSULATION COMPLIES WITH THE REQUIREMENTS OF SECTIONS R302.10.1 AND

R302.10.3 CELLULOSIC FIBER LOOSE-FILL INSULATION

CELLULOSIC FIBER LOSE -FILL INSULATION SHALL COMPLY WITH CPSC 16 PARTS 1209 AND 1404, EACH PACKAGE OF SUCH INSULATING MATERIAL SHALL BE CLEARLY LABELED IN ACCORDANCE WITH APSC 16 CPR PARTS 1209 AND 1404.

R302.10.1 EXPOSED ATTIC INSULATION

EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX NOT LESS THAN Ø.12 WATT PER SQUARE CENTIMETER.

R302.10.5 TESTING TEST FOR CRITICAL RADIANT FLUX SHALL BE MADE IN ACCORDANCE WITH ASTM E 97Ø..

CONTROL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, PENETRATIONS IN FLOORS, ROOFS, AND WALLS AND ALL SIMILAR OPENINGS SHALL BE SEALED, CAULKED, GASKETED OR WEATHER STRIPPED TO LIMIT AIR LEAKAGE.

R102.1 VAPOR RETARDERS

CLASS I OR II VAPOR RETARDERS ARE REQUIRED ON THE INTERIOR SIDE OF FRAME WALLS IN CLIMATE ZONES 5, 6, 7, 8, AND MARINE 4. EXCEPTIONS:

1. BASEMENT WALLS

2. BELOW - GRADE PORTION OF ANY WALL 3. CONSTRUCTION WHERE MOISTURE OR ITS FREEZING WILL NOT DAMAGE THE MATERIALS. R702.7.1 CLASS III VAPOR RETARDER CLASS, CLASS III VAPOR RETARDERS SHALL BE PERMITTED WHERE ANY ONE OF THE CONDITIONS IN TABLE RTØ22.7.1 MET.

TABLE R702.7.2 MATERIAL VAPOR RETARDER CLASS. THE VAPOR RETARDER CLASS SHALL BE BASED ON THE MANUFACTURER'S CERTIFIED TESTING OR TESTED ASSEMBLY. THE FOLLOWING SHALL BE DEENED

TO MEET THE CLASS SPECIFIED: CLASS 1: SHEET POLYETHYLENE, UNPERFORATED ALUMINUM FOIL. CLASS II: KRAFT - FACED FIBERGLASS BATTS.

CLASS III: LATEX OR ENAMEL PAINT.

R102.7.3 MINIMUM CLEAR AIRSPACES AND VENTED OPENINGS FOR VENTED CLADDING. FOR THE PURPOSES OF THIS SECTION, VENTED CLADDING SHALL INCLUDE THE FOLLOWING MINIMUM CLEAR AIRSPACES. OTHER OPENING WITH THE EQUIVALENT VENT ARE SHALL BE PERMITTED.

1. YINYL LAP OR HORIZONTAL ALUMINUM SIDING APPLIED OVER A WEATHER-RESISTIVE BARRIER AS SPECIFIED IN TABLE RT03.3(1) 2. BRICK VENEER WITH A CLEAR AIRSPACE AS SPECIFIED IN TABLE R703.8.4 3. OTHER APPROVED VENTED CLADDINGS.

WSEC R402.4 AIR LEAKAGE (MANDATORY)

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS OF R402.4.1 THROUGH R4002.4.4.

R402.4.1.2 TESTING

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5 AIR EXCHANGES PER HOUR.

DRAFTSTOPPING

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE

FOLLOWING CIRCUMSTANCES: CEILING IS SUSPENDED UNDER THE FLOOR FRAMING. 2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED

MEMBERS.

R302.12.1 MATERIALS DRAFTSTOPPING SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" WOOD STRUCTURAL PANELS OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. DRAFTSTOPPING SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBER UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. THE INTEGRITY OF THE DRAFTSTOPS SHALL BE MAINTAINED.

FIREBLOCKING

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE, FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: 1.1 YERTICALLY AT THE CEILING AND FLOOR LEVELS. 1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.

2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND FLOOR LEVELS.

3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7 (1/2" GWB).

4. AT OPENINGS AROUND VENTS, PIPES, DUSTS, CABLES WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS. 5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION RIQQ.19.

6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION. FIREBLOCKING SHALL CONSIST OF MATERIAL LISTED IN IRC SECTION R302.11.1.

LOOSE FILL INSULATION MATERIAL SHALL NOT BE USED AS FIREBLOCK UNLESS

SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED.

FLASHING

APPROVED CORROSION - RESISTANT FLASHING SHALL BE APPLIED SHINGLE -FASHION IN A MANNER TO PREVENT ENTRY OF WATER IN TO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS, SELF -ADHERED I MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 111. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION - RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS.

- 1. EXTERIOR WINDOW AND DOOR OPENINGS, FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR THE THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH TONE OR MORE OF THE FOLLOWING. 1.1 THE FENESTRATION MANUFACTURE'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURERS INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS, PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL ALSO INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES. 1.2 IN ACCORDANCE WITH THE FLASHING DESIGN OR METHOD OF A REGISTERED DESIGN PROFESSIONAL 1.3. IN ACCORDANCE WITH OTHER APPROVED METHODS.
- 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER
- STUCCO COPINGS. 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- 4. CONTINUOUSLY ABOVE ALL PROJECTION WOOD TRIM. 5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR
- ASSEMBLY OF WOOD FRAME CONSTRUCTION. 6. AT WALL AND ROOF INTERSECTIONS.

R 7032 WEATHER RESISTIVE SHEATHING PAPER

7. AT BUILT - IN GUTTERS

WATER -RESISTIVE BARRIER ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 266 FOR TYPE I FELT OR THERE APPROVED WATER - RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. SUCH FELT OR MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2 INCHES (51 MM). THE FELT OR OTHER APPROVED MATERIAL SHALL BE CONTINUOUS TO THE TOPE OF WALLS AND TERMINATED AT PENETRATIONS AND BUILDING APPENDAGES IN A MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVELOPE AS DESCRIBED IN SECTION R703.1.1.

EXTERIOR DOORS, WINDOWS, AND SKYLIGHTS PER 2018 WASHINGTON STATE ENERGY CODE

WINDOWS SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. WRITTEN INSTALLATION INSTRUCTIONS SHALL BE PROVIDED BY THE MANUFACTURER FOR EACH WINDOW. ALL SKYLIGHTS AND SKY WALLS TO BE LAMINATED GLASS UNLESS NOTED OTHERWISE.

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED BASEMENT, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING, WHERE BASEMENTS CONTAIN MORE THAN ONE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY TO A PUBLIC WAY, OR T A YARD OR COURT THAT OPENS TO A PUBLIC WAY. EXCEPTION:

> STORM SHELTERS OR BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT NOT EXCEEDING A TOTAL FLOOR AREA OF 200 SQ.FT.

MINIMUM OPENING AREA:

ALL THE EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ.FT. EXCEPTION:

GRADE FLOOR OPENINGS SHALL HAVE A MIN. 5.0 SQ.FT.

MINIMUM OPENING HEIGHT: THE MIN. CLEAR OPENINGS HEIGHT SHALL BE 24 INCHES. MINIMUM OPENING WIDTH: THE MIN NET CLEAR OPENING WIDTH SHALL BE 20 INCHES, 1/2 MAXIMUM SILL HEIGHT: WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR, WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SEC. R310.2.3.

SAFETY GLASS

SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS OR AS OTHERWISE REQUIRED PER IRC SECTION R308.4

1. GLAZING IN DOORS - SIDE HINGED DOORS, SLIDING GLASS DOORS AND PANELS IN SLIDING AND BIFOLD DOOR ASSEMBLIES PER IRC SECTION R308.4.1. 2. GLAZING ADJACENT TO DOORS - PANELS WITHIN THE 24" OF EITHER SIDE OF THE

DOOR IN CLOSED POSITION PER IRC SECTION R308.4.2. 3. GLAZING IN WINDOWS - THE PANE IS LARGER THAT 9 SQ.FT. THE BOTTOM EDGE IS LESS THAT IS ABOVE THE FLOOR, THE TOP EDGE IS MORE THAN 36 ABOVE THE FLOOR, AND ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING PER IRC SECTION R3Ø8.4.4.

4. GLAZING IN GUARDS AND RAILS PER IRC SECTION R308.4.4. 5. GLAZING IN WET SURFACES - WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EDGE IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR

WALKING SURFACE PER IRC SETION R308.4.5. 6. GLAZING ADJACENT TO STAIRS AND RAMPS - WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDING BETWEEN FLIGHTS OF STAIRS AND RAMPS PER IRC SECTION R308.4.6.

7. GLAZING ADJACENT TO THE BOTTOM STAIR LANDING - WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING PER IRC SECTION R38.4.7.

INSPECTIONS AND ENFORCMENT R401.3 POSTING OF CERTIFICATE WSEC

A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING, WHEN LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATES SHALL LIST THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BELOW-GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES ± U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE DONE ON THE BUILDING, WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATES SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATES SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, BASEBOARD ELECTRIC HEATER, AS APPROPRIATE AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

DUCT LEAKAGE TESTING DUSTS SHALL BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33, USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED IN 2018 WSEC SEC. R403.3.3. A WRITTEN REPORT OF THE RESULTS SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST

AND PROVIDED TO THE CODE OFFICIAL.

R402.4 2018 WSEC BUILDING AIR LEAKAGE TESTING THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4.

REVISIONS: DATE: 2000 Uga 5000 ∢ш $\overline{w} \ \overline{\mathbb{C}} \ \mathcal{Z}$



عاط عاط کولا CONTENT: GENERAL NOTES BP DRAWN BY: DATE: 09/26/2022 1/4"=1'-0" SCALE: PROJECT *: A-Ø194 SHEET NO:

ALL PENETRATIONS THROUGH EXTERIOR ENVELOPE.

ALL VARIATIONS THROUGH EXTERIOR ENVELOPE.

THE DESIGNER FOR RESOLUTION PRIOR OF PROCEEDING TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE DOCUMENT WILL INVALIDATE THE DOCUMENT. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD

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Exempt Glazed Fenestration (15 sq. ft. max.)					0.0
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Vertical Fenestration (Windows and doors) Component			Width	Height	
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16,614 Btu / Hour

Ducts in unconditioned space: Sum of Building Heat Loss X 1.10 Ducts in conditioned space: Sum of Building Heat Loss X 1

Building and Duct Heat Loss X 1.40 for Forced Air Furnace Building and Duct Heat Loss X 1.25 for Heat Pump

Maximum Heat Equipment Output

2018 Washington State Energy Cede Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington

Single Family New & Additions (effective February 1, 2021)

These requirements apply to all IRC building types, including detached one- and two-family

dwellings and multiple single-family dwellings (townhouses).				
Project Information Contact Information				
8097 MERCER WAY	Pacific Northwest Design and Build			
MERCER ISLAND, WA. 98040	15209 84th Ave Ct E Puvallup Wa. 98375			

Instructions: This single-family project will use the requirements of the Prescriptive Path below and incorporate the minimum values listed. Based on the size of the structure, the appropriate number of additional credits are checked as chosen by the permit applicant.

Provide all information from the following tables as building permit drawings: Table R402.1 - Insulation and Fenestration Requirements by Component, Table R406.2 - Fuel Normalization Credits and 406.3 - Energy Credits.

Authorized Representative	Brenda Peck	Date 05/02/2023
	All Climate Zones (Table R40	2.1.1)
	R-Value a	U-Factor a
Fenestration U-Factor b	n/a	0.30
Skylight U-Factor b	n/a	0.50
Glazed Fenestration SHGC b,	e n/a	n/a
Ceiling e	49 j	0.026
Wood Frame Wall g,h	21 int	0.056
Floor	30	0.029
Below Grade Wall c,h	10/15/21 int + TB	0.042

2018 Washington State Energy Cede Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family New & Additions (effective February 1, 2021)

Each dwelling unit in a residential building shall comply with sufficient options from Table R406.2 (fuel normalization credits) and Table 406.3 (energy credits) to achieve the following minimum number of credits. To claim this credit, the building permit drawings shall specify the option selected and the maximum tested building air leakage, and show the qualifying ventilation system and its control sequence of operation.

1. Small Dwelling Unit: 3 credits Dwelling units less than 1,500 sf in conditioned floor area with less than 300 sf of fenestration area. Additions to existing building that are greater than 500 sf of heated floor area but less than 1,500 sf.

- 2. Medium Dwelling Unit: 6 credits All dwelling units that are not included in #1 or #3
- 3. Large Dwelling Unit: 7 credits
- Dwelling units exceeding 5,000 sf of conditioned floor area 4. Additions less than 500 square feet: 1.5 credits
- All other additions shall meet 1-3 above

Before selecting your credits on this Summary table, review the details in Table 406.3 (Single Family), on page 4.

	Summary of	f Table R406	6.2	
leating Options	Fuel Normalization Descriptions	Credits - select ON heating option		User Notes
1 Coi	mbustion heating minimum NAECAb	0.0		
2 Heat p	oumpc	1.0		
3 Ele	ctric resistance heat only - furnace or zonal	-1.0		
4 DHP w	vith zonal electric resistance per option 3.4	0.5		
5 All	other heating systems	-1.0		
Energy Options	Energy Credit Option Descriptions	energy o	s - select C ption from egory d	each
1.1 Efficie	nt Building Envelope	0.5		
	ent Building Envelope	1.0		
	ent Building Envelope	0.5	X	
	ent Building Envelope	1.0		
	ent Building Envelope	2.0		
	ent Building Envelope	3.0		
1.7 Efficie	ent Building Envelope	0.5		
2.1 Air Le	eakage Control and Efficient Ventilation	0.5		
2.2 Air Le	eakage Control and Efficient Ventilation	1.0		
2.3 Air Le	eakage Control and Efficient Ventilation	1.5		
2.4 Air Le	eakage Control and Efficient Ventilation	2.0		
	Efficiency HVAC	1.0	П	
	Efficiency HVAC	1.0	X	
	Efficiency HVAC	1.5		
	Efficiency HVAC	1.5		
	Efficiency HVAC	1.5		
	Efficiency HVAC	2.0		
	Efficiency HVAC Distribution System	0.5		
4.2 High	Efficiency HVAC Distribution System	1.0		
Energy Options	Energy Credit Option Descriptions (cor	nt.) energy o	select ON option from ategory d	
5.1d Effic	cient Water Heating	0.5		
5.2 Effici	ent Water Heating	0.5		
5.3 Effici	ent Water Heating	1.0	\square	
5.4 Effici	ent Water Heating	1.5		
	ent Water Heating	2.0		
5.6 Effici	ent Water Heating	2.5		
6.1e Ren	ewable Electric Energy (3 credits max)	1.0		
7 1 Appli	ance Package	0.5		

- whichever is bigger, may be installed in the dwelling unit.
- b. Equipment listed in Table C403.3.2(4) or C403.3.2(5) c. Equipment listed in Table C403.3.2(1) or C403.3.2(2)
- d. You cannot select more than one option from any category EXCEPT in category 5. Option 5.1 may be combined with options 5.2 through 5.6. See Table 406.3.
- e. 1.0 credit for each 1,200 kWh of electrical generation provided annually, up to 3 credits max.
- See the complete Table R406.2 for all requirements and option descriptions.

MECHANICAL VENTILATION SYSTEM

MI505.1 WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH THIS SECTION.

MI505.2 RECIRCULATION OF AIR.

EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL NOT BE RECIRCULATED WITHIN A RESIDENCE OR CIRCULATED TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS AND KITCHENS SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREAS OF THE BUILDING. THIS SECTION SHALL NOT PROHIBIT THE INSTALLATION OF DUCTLESS RANGE HOODS IN ACCORDANCE WITH THE EXCEPTION TO SECTION MI503.3

MI505.3 EXHAUST EQUIPMENT.

EXHAUST EQUIPMENT SERVING SINGLE DWELLING UNITS SHALL BE LISTED AND LABELED AS PROVIDING THE MINIMUM REQUIRED AIRFLOW IN ACCORDANCE WITH ANSI/AMCA 210-ANSI/ASHRAE 51.

MISØ5.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM. WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS MI505.4.1 THROUGH MI505.4.4

MISØ5.4.1 SYSTEM DESIGN

THE WHOLE-HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUSTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE AS SUCH A SYSTEM. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED AS PROVIDING SUPPLY VENTILATION.

MI5Ø5.4.2 SYSTEM CONTROLS.

THE WHOLE -HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE.

MI505.4.3. MECHANICAL VENTILATION RATE THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE MI505.4.3.(1) OR EQUATION 15-1.

VENTILATION RATE IN CUBIC FEET PER MIN. = (0.01 x TOTAL SQAURE FOOT AREA OF HOUSE) + ((7.5 x (NUMBER OF BEDROOMS+1))

EXCEPTION: THE WHOLE -HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE MI505.4.3.(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE 1505.4.3(2)

DWELLING UNIT FLOOR AREA	NUMBER OF BEDROOMS						
(SQFT,)	Ø-1 2-3 4-5 6-7 Ø-1						
				w in CFM	1	<i>U</i> - 1	
-1500	3Ø	45		60			90
1501-3000	45	60		75		3Ø	105
3001-4500	60	75		90		105	120
4501-6000	75	90	90 10		120		135
6001-7500	90	105	105 120		135		150
7500 - UP	105	120		135 150		165	
	INTERMITTENT U	UHOLE-HOUSE I	MECHANICAL	VENTILATIC	N RAT	E FACTORS	
RUN-TIME % IN EACH 4-HOUR SEGMENT	25%	33%	50%	669	%	75%	100%
FACTOR	4	3	2	1.5 1.3		1.00	
		MINIMUM RE	QUIRED EXH	UST RATES			
	AREA TO BE	VENTED			E	XHAUST RAT	ES
	KTICHE	NS				FM INTERMITT	
BATHE	OOM/LAUNDRY	/SIMILAR AREA	4 5			M INTERMITT!	

MECHANICAL HEATING EQUIPMENT

ALL WARM-AIR FURNACES SHALL BE LISTED AND LABELED BY A NO. WARM-AIR FURNACES SHALL BE INSTALLED IN A ROOM USED OR DESIGNED TO BE USED AS A BEDROOM, BATHROOM, CLOSET OR IN ANY ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM OR SPACE, EXCEPT DIRECT VENT FURNACE, ENCLOSED FURNACES AND ELECTRICAL

HEATING FURNACES. LIQUEFIED PETROLEUM GAS-BURNING APPLIANCES SHALL NOT BE INSTALLED IN A PIT, BASEMENT OR SIMILAR LOCATION WHERE HEAVIER THAN AIR GAS MIGHT COLLECT. APPLIANCES SO FUELED SHALL NOT BE INSTALLED IN AN ABOVE GRADE UNDER FLOOR SPACE OR BASEMENT UNLESS SUCH LOCATION IS PROVIDED WITH AN APPROVED MEANS FOR REMOVAL OF UNBURNED GAS.

HEATING AND COOLING EQUIPMENT LOCATED IN A GARAGE WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS AND BURNERS FOR HEATING ELEMENTS AND SWITCHES AT LEAST IS ABOVE THE FLOOR LEVEL.

TEMPERATURE CONTROL

MECHANICAL VENTILATION SYSTEMS SHALL BE PROVIDED WITH MANUAL OR AUTOMATIC CONTROLS THAT WILL OPERATE SUCH SYSTEMS WHENEVER THE SPACES ARE OCCUPIED. AIR-CONDITIONING SYSTEMS THAT SUPPLY REQUIRED VENTILATION AIR SHALL BE PROVIDED WITH CONTROLS DESIGNED TO AUTOMATICALLY MAINTAIN THE REQUIRED OUTDOOR AIR SUPPLY RATE DURING OCCUPANCY. WSEC SEC.405.1

VENTILATION

EVERY FACTORY BUILT CHIMNEY, TYPE, L VENT, TYPE B GAS VENT OR TYPE B GAS BENT SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF ITS LISTING, MFR'S A TYPE L VENTING SYSTEM SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THE VENT PASSES THROUGH THE ROOF OF THE BUILDING AN AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' OF THE VENT.

UTILITY ROOM NOTES/MAKE UP AIR:

- WHERE THE EXHAUST DUCT IS CONCEALED WITHIN THE BUILDING CONSTRUCTION, THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL. OR TAG. THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FT OF THE EXHAUST DUCT
- CONNECTION. 2. INSTALLATIONS EXHAUSTING MORE THAN 200 CFM SHALL BE PROVIDED WITH MAKE-UP AIR WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING HAVING AN AREA OF NOT LESS THAN 100 sq. INCHES FOR MAKE UP AIR SHALL BE PROVIDED IN THE CLOSET ENCLOSURE, OR MAKE UP AIR SHALL BE PROVIDED BY OTHER APPR. MEANS.

-100 sq. INCHES TRANSFER GRILL PER IRC G2439.4(614.6)

CODES AND STANDARDS

ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.

IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO ENSURE THAT CHANGES IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM THE LOCAL BUILDING CODES AND BY LAWS WHICH MAY TAKE PRECEDENCE, AND ALL OTHER PERTINENT LAWS AND ORDINANCES.

PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS, AND SPECIFICATIONS OF THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.

ANY VARIANCE FORM STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY.

ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BY LAWS WHICH MAY TAKE PRECEDENCE.

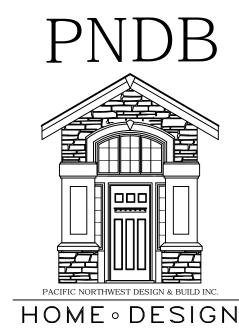
CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIAL OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.

IN THE EVENT OF A CONFLICT APPLICABLE CODES AND REGULATIONS AND REFERENCE STANDARDS OF THE PLANS AND SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.

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REVISIONS:

DATE:



CONTENT:

ENERGY SHEET

DRAWN BY: *0*9/26/2*0*22 DATE: 1/4"=1'-@" SCALE: PROJECT *: SHEET NO:

ALL VARIATIONS FROM CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWING SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR OR PROCEEDING TO THE WORK OR OTHERWISE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COSTS OF ANY NECESSARY REMEDIAL WORK REUSE OF DOCUMENTS. THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PACIFIC NORTHWEST DESIGN & BUILD AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM PACIFIC NORTHWEST DESIGN & BUILD